



**Planning Commission
Regular Meeting
March 15, 2022
7:00 p.m.**

The meeting will take place in-person. To better provide for social distancing during this public meeting, **the location of the Planning Commission meeting has been moved to the Lincoln Reception Center, 2300 S. Lincoln Road, Mt. Pleasant, MI 48858, which is located behind the Lux Funeral Home.** Enter at the Lux Funeral Home driveway and follow the directional signs around to the Lincoln Reception Center entrance and parking area on the south side of the building.

In the interest of creating the safest possible environment, all attendees are invited and encouraged to wear masks while in the building. Extra masks will be available for those that may need one.

1. CALL MEETING TO ORDER

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

4. APPROVAL OF AGENDA

5. APPROVAL OF MINUTES

-February 15, 2022

6. CORRESPONDENCE / BOARD REPORTS / PRESENTATIONS

- A. Thering updates from Board of Trustees
- B. Buckley updates from ZBA
- C. Updates from Sidewalk and Pathways

7. PUBLIC COMMENT: Restricted to (3) minutes regarding items not on this agenda

8. NEW BUSINESS

A. Annual meeting for election of officers and representatives to other boards

- a. Chair
- b. Vice-Chair
- c. Secretary
- d. ZBA Representative
- e. Sidewalks and Pathways Prioritization Committee representative

B. PSUP22-02 Special Use Permit Application – Proposed Self-Storage Facility in the B4 District, 5252 S. Mission Rd. (Darwin Blanshan)

- a. Introduction by Staff
- b. Presentation by the applicant
- c. Public hearing
- d. Commission deliberation and action (approval, denial, approval with conditions, postpone action)

C. PSUP22-03 Preliminary Site Plan Application – Proposed Self-Storage Facility in the B-4 District, 5252 S Mission Rd. (Darwin Blanshan)

- a. Introduction by Staff
- b. Updates from staff and applicant
- c. Commission review of the preliminary site plan
- d. Commission deliberation and action (approval, denial, approval with conditions, postpone action)

D. PSUP22-01 Special Use Permit Application – Proposed Agri-Tourism/Farm Market, 5297 S. Whiteville Rd. (Michael & Jamie Klumpp)

- a. Introduction by Staff
- b. Presentation by the applicant
- c. Questions from the commissioners
- d. Commission deliberation and action (set a public hearing date or postpone action)

9. OTHER BUSINESS

A. PREZ21-03 Planned Unit Development (PUD) Area Plan/Rezoning Application – Prestige Center Assisted Living Facility Expansion

- a. Updates from staff and the applicant
- c. Request to Postpone Action

B. Parks & Recreation Master Plan Update

- a. Updates by staff
- b. Commission review of the revised draft survey questions

C. Reminder of the upcoming Joint Meeting of all Township Boards and Commissions – Wednesday, April 6, 2022

- Will meet together at 7:00 p.m. in the Commission on Aging Building, 2200 S. Lincoln Rd.
- All members are invited and encouraged to attend (this group last met together in 2018)
- The Chair is encouraged to provide a short verbal report on the Commission's activities and priorities.

10. EXTENDED PUBLIC COMMENT: Restricted to 5 minutes regarding any issue

11. FINAL BOARD COMMENT

12. ADJOURNMENT

CHARTER TOWNSHIP OF UNION
Planning Commission
Regular Meeting Minutes

A regular meeting of the Charter Township of Union Planning Commission was held on February 15, 2022, at 7:00 p.m. at the Lincoln Reception Center, 2300 S. Lincoln Road.

Meeting was called to order at 7:03 p.m.

Roll Call

Present: Albrecht, Buckley, Darin, LaBelle, Lapp, Shingles, Squattrito, and Thering

Others Present

Rodney Nanney, Community and Economic Development Director; Peter Gallinat, Zoning Administrator; Tera Green, Administrative Assistant

Approval of Agenda

LaBelle moved **Darin** supported to approve the agenda as presented. **Vote: Ayes: 8. Nays: 0. Motion Carried**

Approval of Minutes

LaBelle moved **Shingles** supported to approve the regular meeting minutes from January 18, 2022 as presented. **Vote: Ayes: 8. Nays: 0. Motion carried.**

Correspondence / Reports/ Presentations

- A. Board of Trustees updates by Thering – Gave updates on the Board of Trustee discussion regarding the Sidewalk and Pathways. Rodney Nanney will be giving a Sidewalk and Pathways presentation to the Board of Trustees in April.
- B. ZBA updates by Buckley – Gave updates on the January 5, 2022 ZBA meeting to approve the PVAR21-02 application for an (8) foot setback variance.
- C. Sidewalks and Pathway Prioritization updates by Darin – No updates given.
- D. Chair Squattritto reminded the Commissioners to respond to Peter Gallinat's email if interested in any of the upcoming trainings in March; Asked recording secretary to remove Alex Fuller from the Board Matrix and Website.

Public Comment

Open 7:11 p.m.

No comments offered

Closed 7:12 p.m.

Other Business

- A. **PTXT21-02 Coyne Solar Energy Amendment**
 - a. Updates from staff and the applicant
 - b. Public Hearing

- c. Discussion
- d. Action (Recommend to the Board of Trustees adoption, denial, adoption with revisions, or postpone)

Nanney introduced the Zoning Ordinance Text Amendment Application that was submitted requesting to make two changes to section 6.39 that defines the regulations of the solar energy systems. The request is to increase the maximum height allowed. In addition, the staff recommended minimum required setbacks be included to reflect that increase in height.

Public Hearing

Open: 7:15 p.m.

No comments were offered

Closed: 7:15 p.m.

LaBelle moved **Buckley** supported to recommend to the Township Board of Trustees that the PTXT 21-02 text amendments to Section 6.39 (Solar Energy Systems) of Zoning Ordinance No. 20-06 to increase the maximum allowable height and to adjust the minimum setback standards for ground-mounted solar energy facilities be adopted as submitted for the public hearing. **Vote: Ayes: 8. Nays: 0. Motion carried.**

B. Parks and Recreation Master Plan Update

- a. Updates by staff
- b. Discussion
- c. Action

Nanney updated the Commissioners on the revised Parks and Recreational Survey. Discussion by the Commissioners. Requests were made for additional changes to be made particularly to the verbiage of question 13 and 14.

Extended Public Comments

Open – 8:30 p.m.

No comments were offered.

Closed – 8:30 p.m.

Final Board Comment

Commissioner Darin – Acknowledged that it may be his last Planning Commission meeting and expressed how great it's been working with the Commissioners.

Chair Squattrito – Thanked Commissioner Darin for his years of service.

Commissioner LaBelle – Informed the Commissioners that his appointment to the Planning Commission is due to expire, if not re-elected he would like to thank everyone.

Commissioner Buckley – Hopes to see everyone again.

Adjournment – Chairman Squattrito adjourned the meeting at 8:34 p.m.

APPROVED BY:

(Recorded by Tera Green)

Doug LaBelle – Secretary

Stan Shingles – Vice Secretary

DRAFT



Board Expiration Dates

Planning Commission Board Members (9 Members) 3 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	James	Thering	11/20/2024
2-Chair	Phil	Squattrito	2/15/2023
3-Vice Chair	Ryan	Buckley	2/15/2025
4-Secretary	Doug	LaBelle II	2/15/2025
5 - Vice Secretary	Stan	Shingles	2/15/2024
6	Tera	Albrecht	2/15/2024
7	Paul	Gross	2/15/2025
8	Jack	Williams	2/15/2023
9	Jessica	Lapp	2/15/2023
Zoning Board of Appeals Members (5 Members, 2 Alternates) 3 year term			
#	F Name	L Name	Expiration Date
1- PC Rep	Ryan	Buckley	2/15/2022
2 - Chair	Andy	Theisen	12/31/2022
3 - Vice Chair	Liz	Presnell	12/31/2022
4 - Secretary	vacant seat		12/31/2022
5 -	Brandon	LaBelle	12/31/2022
Alt. #1	vacant seat		12/31/2022
Alt. #2	vacant seat		2/15/2021
Board of Review (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Doug	LaBelle II	12/31/2022
2	Sarvjit	Chowdhary	12/31/2022
3	Bryan	Neyer	12/31/2022
Alt #1	Randy	Golden	12/31/2022
Construction Board of Appeals (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Colin	Herren	12/31/2023
2	Joseph	Schafer	12/31/2023
3	Andy	Theisen	12/31/2023
Hannah's Bark Park Advisory Board (2 Members from Township) 2 year term			
1	Mark	Stuhldreher	12/31/2022
2	John	Dinse	12/31/2023
Chippewa River District Library Board 4 year term			
1	Ruth	Helwig	12/31/2023
2	Lynn	Laskowsky	12/31/2025



Board Expiration Dates

EDA Board Members (9 Members) 4 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	Bryan	Mielke	11/20/2024
2	Thomas	Kequom	4/14/2023
3	James	Zalud	4/14/2023
4	Richard	Barz	2/13/2025
5	Robert	Bacon	1/13/2023
6	Marty	Figg	6/22/2022
7	Cheryl	Hunter	6/22/2023
8	Jeff	Sweet	2/13/2025
9	David	Coyne	3/26/2026
Mid Michigan Area Cable Consortium (2 Members)			
#	F Name	L Name	Expiration Date
1	Kim	Smith	12/31/2022
2	vacant seat		
Cultural and Recreational Commission (1 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1	Robert	Sommerville	12/31/2022
Sidewalks and Pathways Prioritization Committee (2 year term -PC Appointments)			
#	F Name	L Name	Expiration Date
1 - BOT Representative	Kimberly	Rice	11/20/2024
2 - PC Representative	Mike	Darin	8/15/2022
3 - Township Resident	Jeff	Siler	8/15/2023
4 - Township Resident	Jeremy	MacDonald	10/17/2022
5 - Member at large	Phil	Hertzler	8/15/2023
Mid Michigan Aquatic Recreational Authority (2 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1-City of Mt. Pleasant	John	Zang	12/31/2023
2-City of Mt. Pleasant	Judith	Wagley	12/31/2022
1-Union Township	Stan	Shingles	12/31/2023
2-Union Township	Allison	Chiodini	12/31/2022
1-Mt. Pleasant Schools	Lisa	Diaz	12/31/2021

Charter Township of Union

APPLICATION FOR SPECIAL USE PERMIT APPROVAL

A completed application will contain all information required per the Zoning Ordinance, Section 14.3 (Special Use Permits); and be accompanied by a separate minor site plan or preliminary site plan application per Section 14.02.C. (Site Plan Approval Required).

☐ Minor Site Plan
☒ Preliminary Site Plan

Name of Proposed Development/Project	DARWIN BLANSHAN - 5252 S. MISSION ROAD		
Common Description of Property & Address (if issued)	5252 S. MISSION ROAD MT. PLEASANT, MI 48858		
Applicant's Name(s)	DARWIN BLANSHAN		
Phone/Fax numbers	989-560-7067	Email	dblanshan@gmail.com
Address	3167 PADDOCK LANE	City:	MT. PLEASANT Zip: 48858

Legal Description:	<input type="checkbox"/> Attached <input checked="" type="checkbox"/> Included on Site Plan	Tax Parcel ID Number(s):	14-034-20-002-00
Existing Zoning:	B-4	Land Acreage:	7.27
Existing Use(s):	VACANT LAND		
<input checked="" type="checkbox"/>	ATTACHED: Letter describing the proposed use and how it conforms to Section 14.3.J. (Standards for Special Use Approval)		

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name:	CENTRAL MI SURVEYING & DEV. CO. INC.	Phone:	9897750756	Email:	tbebee@cms-d.com
	2. Address:	2257 E. BROOMFIELD ROAD				
	City:	MT. PLEASANT	State:	MI	Zip:	48858
	Contact Person:	TIMOTHY BEBEE Phone 989-775-0756				
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name:	DARWIN BLANSHAN			Phone:	9895607067
	Address:	3167 PADDOCK LANE				
	City:	MT. PLEASANT	State:	MI	Zip:	48858
	Signature:				Interest in Property:	OWNER
	2. Name:				Phone:	
	Address:					
	City:		State:	MI	Zip:	
	Signature:				Interest in Property:	owner/lessee/other

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information may be cause for revocation of the special use permit approval. Approval of the requested special use shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.



Signature of Applicant

2-16-22

Date

Office Use Only

Application Received By: _____ Fee Paid: \$ _____

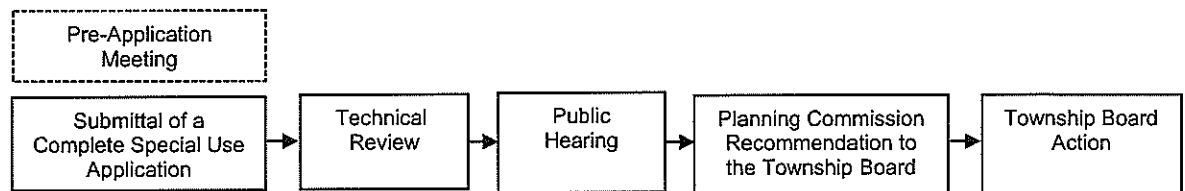
Date Received: _____ Escrow Deposit Paid: \$ _____

Section 14.3 Special Use Permits (excerpts)

E. Application Information.

The following minimum information shall be required with any application for special use permit approval:

1. The name, address, and contact information for the applicant, and the applicant's legal interest in the property. If the applicant is not the owner, the name, address, and contact information for the owner(s) and the signed consent of the owner(s) shall also be required.
2. Signature(s) of the applicant(s) and owner(s), certifying the accuracy of the information.
3. A legal description of the property, including street address(es) and tax code number(s).
4. A detailed description of the proposed use.
5. Supporting statements, evidence, data, information, and exhibits that address the standards and requirements of this Section and Ordinance that apply to the proposed use, applicable requirements and standards of this Ordinance or other Township ordinances, including standards for special use approval in Subsection 14.3(J).
6. A survey drawing or plan view of the subject property drawn to a standard engineer's scale and correlated with the legal description and clearly showing the property's location, lot boundaries, road rights-of-way, easements, existing structures, fences, and other improvements. Where required per Section 14.2, a site plan shall satisfy this requirement.
7. Any other information determined necessary by the Township Planner, Planning Commission or Township Board to verify compliance with this Ordinance or other Township ordinances.



Special Use Review Process

- J. Standards for Special Use Approval.** No special use permit shall be granted unless the Township Board makes affirmative findings of fact and records adequate data, information, and evidence showing that:

1. The proposed land use is identified in Section 3 as a special use in the zoning district.
2. The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason of traffic, noise, vibration, smoke, fumes, odors, dust, glare, light, drainage, pollution or other adverse impacts.
3. The special use will be designed, constructed, operated, and maintained in a manner compatible with adjacent uses, the surrounding area, and the intent of the zoning district. Where determined necessary by the Planning Commission or Township Board, the applicant has provided adequately for any restrictions on hours or days of operation, minimization of noise, and screening improvements or other land use buffers to ensure land use compatibility and minimize adverse impacts.
4. The special use location and character is consistent with the general principles, goals, objectives, and policies of the adopted Master Plan.
5. The proposed special use conforms to all applicable requirements or standards of this Ordinance or other Township ordinances.
6. Approval of the special use location will not result in a small residential or non-residential area being substantially surrounded by incompatible uses.
7. The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited to roads, police and fire protection services, refuse disposal, municipal water or sewerage systems, other utilities, drainage facilities, and public or private wells. The proposed use will not create additional requirements at public cost for services or infrastructure that will be detrimental to the economic welfare of the community.

DARWIN BLANSHAN
SPECIAL USE LETTER

Summary of Request

Self-Storage Units are a Special Use within the B-4 District. The proposed Special Use area will be 7.27 acres and will house 11 total buildings consisting of 8 buildings (30' x 130') and 3 buildings (40' x 130') with a total area 46,800 sq. ft. of storage units when fully developed.

Standards for Special Use Approval (Section 14.3.J.)

- 1.) The proposed land use is identified in Section 3 as a special use in the zoning district.

The special land use requested is Self-Storage Facilities (Mini Storage). This is an allowed special use in B-4, General Business District.

- 2.) The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason of traffic, noise, vibration, smoke, fumes, odors, dust, glare, light, drainage, pollution or other adverse impacts.

The proposed special use will not:

1. *Involve hazardous activity. No storage of hazardous materials or substances is permitted.*
2. *Will not allow storage of any item that produces smoke, odor, fumes or glare.*
3. *Will not be detrimental to health, safety or welfare.*

- 3.) The special use will be designed, constructed, operated, and maintained in a manner compatible with adjacent uses, the surrounding area, and the intent of the zoning district. Where determined necessary by the Planning Commission or Township Board, the applicant has provided adequately for any restrictions on hours or days of operation, minimization of noise, and screening improvements or other land use buffers to ensure land use compatibility and minimize adverse impacts.

The proposed special use will be designed, constructed, operated, and maintained in a manner compatible with adjacent uses as the property located across the road is currently operating as a Self Storage Facility.

Should the Planning Commission require that applicant adjust to their plans to ensure land use compatibility and minimize adverse impacts, the applicant will work with the Township and their representatives to reach a solution that is agreeable to both parties.

- 4.) The special use location and character is consistent with the general principles, goals, objectives, and policies of the adopted Master Plan.

The applicant believes that the proposed special use is consistent with the adopted Master Plan as it is for B-4 General Business District and the proposed future land use for the area is neighborhood that the operations would support.

- 5.) The proposed special use conforms to all applicable requirements or standards of this Ordinance or other Township ordinances.

The proposed special use does conform to all applicable requirements and standards.

- 6.) Approval of the special use location will not result in a small residential or non-residential area being substantially surrounded by incompatible uses.

An approval of the proposed special use is for the entire 7.27 acres and the properties on the North and South side are zoned B-4 also. No property would be surrounded by this special use property.

- 7.) The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited to roads, police and fire protection services, refuse disposal, municipal water or sewerage systems, other utilities, drainage facilities, and public or private wells. The proposed use will not create additional requirements at public cost for services or infrastructure that will be detrimental to the economic welfare of the community.

Based on the proposed special use planned the applicant does not see them impacting the capacity of public or municipal services or infrastructure. It is believed that the proposed special use will enhance the economic welfare of the community and not be detrimental.

SPECIAL USE PERMIT REPORT

TO:	Planning Commission	DATE:	March 8, 2022
FROM:	Peter Gallinat, Zoning Administrator	ZONING:	B-4, General Business District
PROJECT:	PSUP 22-02 Special Use Permit application – Self-Storage Facility (mini-warehouse, mini-storage)		
PARCEL(S):	PID 14-034-20-002-00		
OWNER(S):	Dar Blanshan		
LOCATION:	Approximately 7.27 acres located at 5252 S. Mission Road in the NE 1/4 of Section 34.		
EXISTING USE:	Vacant Property.	ADJACENT ZONING:	AG, R4
FUTURE LAND USE DESIGNATION: <i>Neighborhood Service:</i> Located primarily along corridors adjoining lower intensity land uses, the intent of this district is to limit future retail and focus on small-scale personal service and office uses. This district accommodates shallow lots, providing a good buffer and transition to residential uses and limiting heavy commercial and general retail uses so they can be focused on other areas of the township. Rear yards adjoining residential areas should be well-screened to limit impacts of higher intensity uses. These areas should be accessible and comfortable for the pedestrian and should create a sense of place along the roadway.			
ACTION REQUESTED: To hold a public hearing, review, and make a final decision on the PSUP22-02 Special Use Permit application for a self-storage facility (min-warehouse, mini-storage) located at 5252 S. Mission Road in the NE 1/4 of Section 34 and in the B-4 (General Business) zoning district.			

Background Information

Proposed Facility.

The applicant/owner has proposed a self-storage facility located at 5252 S. Mission Road. A total of eleven (11) buildings are proposed without the presence of any office building on-site. Eight (8) of the buildings will be 30' x 130' and the other three (3) will be 40' x 130'. This site is currently vacant and southeast of the Summerhill Village Mobile Home Park.

Status of Self-Storage as a Special Use in the B-4 District.

Last year, the Planning Commission reviewed and recommended for approval a substantial set of “punch list” amendments to our still new Zoning Ordinance No. 20-06, which were adopted by the Board of Trustees in November of 2021. As part of this “punch list” set, self-storage facilities were proposed to be removed from the list of allowable special uses in the B-4 zoning district.

This action was taken with regards to the overall land use table in Section 3.4 of the Zoning Ordinance. However, in the follow up Section 3.13 of the Ordinance, where the list of allowable uses is duplicated, the special use reference for self-storage facilities was inadvertently left in the document. **With that reference remaining, it is the determination of the Zoning Administrator that self-storage facilities remain an allowable special use in the B-4 District.**

Review Comments

Section 14.03J. of the Zoning Ordinance establishes the standards for special use approval. Special use permit approval is subject to a Planning Commission public hearing and approval. The Planning Commission's decision should include "*affirmative findings of fact and records adequate data, information, and evidence*" to support a conclusion that the proposed special use conforms to the standards of Section 14.03.J.

Each of the seven (7) standards from this Section are listed in the following table in bold printed text. Staff review comments follow under each standard. Please note that, for clarity and readability purposes, staff has divided standards #2 and #7 into several subsections:

Section 14.3.J. (Standards for Special Use Approval)		Status
1	<p>The proposed land use is identified in Section 3 as a special use in the zoning district.</p> <p>Self-Storage Facilities (Mini-Warehouse, Mini-Storage) is listed in Section 3.13 as a special use in the B-4 (General Business District).</p>	Conforms
2(a)	<p>The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason of <u>traffic</u></p> <p>The proposed use conforms to this standard. Anticipated vehicular traffic would be limited to vehicles periodically picking up and dropping off storage items throughout the day. Based on these conditions, a self-storage facility home would not be detrimental or hazardous to the general welfare by means of traffic generation.</p>	Conforms
2(b)	<p>The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason of...<u>noise, vibration, ...dust, glare (or) light....</u></p> <p>The site is properly screened in accordance with Section 10 (Landscaping and Screening) standards. Building mounted lighting is shown. A detailed lighting plan will be required with the final site plan to verify conformance with this requirement.</p>	Can Conform
2(c)	<p>The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason of...<u>odors, dust, drainage, pollution or other adverse impacts.</u></p> <p>The self-storage facility will not be detrimental or injurious to the environment or public health by reason of odors, dust, drainage, pollution or other adverse impacts.</p>	Conforms

Section 14.3.J. (Standards for Special Use Approval)		Status
3	The special use will be designed, constructed, operated, and maintained in a manner compatible with adjacent uses, the surrounding area, and the intent of the zoning district. Where determined necessary by the Planning Commission or Township Board, the applicant has provided adequately for any restrictions on hours or days of operation, minimization of noise, and screening improvements or other land use buffers to ensure land use compatibility and minimize adverse impacts.	Can Conform
	The proposed facilities hours and days of operation are missing from the site plan.	
4	The special use location and character is consistent with the general principles, goals, objectives, and policies of the adopted Master Plan.	Conforms
	A Self-storage facility is not the ideal use in the Neighborhood Service area as designated in the Master Plan, but is compatible with the predominantly residential scale of the surrounding area. The proposed use is well screened with limited parking and the presence of pedestrian travel is available.	
5	The proposed special use conforms to all applicable requirements or standards of this Ordinance or other Township ordinances.	Can Conform (see 5.A. – 5.H. below)
	<i>The specific standards of Section 6.38 (Self-Storage Buildings) are included below along with staff review comments:</i>	
5.A.	A. Roof Design. Self-storage buildings shall have a mansard, gable, hip, or gambrel roof design. A flat roof is prohibited. Conformance will be confirmed with final site plan elevations drawings.	Can Conform
5.B.	B. Ingress/Egress. Entrances and exits shall be designed in accordance with the requirements of the Isabella County Road (Commission). Self-storage facilities shall have direct access to a paved public road. Local traffic movements shall be accommodated within the site so that entering and exiting vehicles can make normal and uncomplicated movements onto or off of the public road. Conformance will be verified with Road Commission approval of ingress/egress to S. Mission Road.	Can Conform
5.C.	C. Maintenance. Evergreen screening shall be required whenever a self-storage facility is located within two hundred fifty (250) feet of a residentially zoned property. Screening shall consist of evergreen trees, not less than eight (8) feet in height at the time of planting, planted and maintained in live condition not less than fifteen (15) feet on-center (see Section 10). Conforms. See site plan pages 7 of 8.	Conforms
5.D.	D. Dimensions. The maximum length of any self-storage building shall be two hundred fifty (250) feet. Conforms. See site plan pages 4 of 8.	Conforms
5.E.	E. Recreational Vehicle Storage as an Accessory Use. Storage outside of the self-storage buildings in a Business District shall be prohibited, except for limited outdoor storage of recreational vehicles as defined in Section 2.2, which shall be allowed as an accessory use subject to the following limitations: <ol style="list-style-type: none"> 1. Outdoor storage of recreational vehicles shall be incidental in character and subordinate to the principal use on the site. 2. The outdoor storage area shall be located outside of all required setback areas, secured within a fence or a wall that conforms to Section 7.6 (Fences and Walls), and fully screened from road rights-of-way and adjacent land uses per Section 10.2.E. 	Not Applicable – No RV Storage Proposed

Section 14.3.J. (Standards for Special Use Approval)		Status
5.F.	F. Outside Storage Prohibited. No storage outside of the self-storage buildings shall be permitted.	Conforms
5.G.	G. Limitations on Use. The use of the premises shall be limited to storage only and shall not be used for operating any other business, for maintaining or repairing of vehicles, recreational equipment, or other items, for recreational activity, hobby, or any purpose other than the storage of personal and business items as described herein.	Conforms
5.H.	H. Hard-Surfacing Required. All entrances, exits, driveways, parking areas, and maneuvering areas shall be hard surface with asphalt or concrete and shall be drained to move storm water away from the storage units.	Conforms
6	Approval of the special use location will not result in a small residential or non-residential area being substantially surrounded by incompatible uses. The approval of the special use location will not result in a small residential or non-residential area being substantially surrounded by incompatible uses.	Conforms
7(a)	The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited to...fire protection services (and) municipal water and sewerage systems.... The proposed use conforms to this standard.	Conforms
7(b)	The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited to roads, police...protection services, (and) refuse disposal, other utilities, drainage facilities, and public or private wells.... The proposed use conforms to this standard. No parking will be on the road. Traffic will only be periodic pick up and drop off of storage items. The area is serviced by the County Sheriff and Mt. Pleasant Fire Department.	Conforms
7(c)	The proposed use will not create additional requirements at public cost for services or infrastructure that will be detrimental to the economic welfare of the community. The proposed use conforms to this standard.	Conforms

Objective

Section 14.3.F.4. Following the hearing, the Planning Commission shall review the application materials, together with any reports and recommendations, and any public comments. The Planning Commission shall identify and evaluate all relevant factors, and shall then take action by motion to approve, approve with conditions, or deny the special use permit application, or to postpone further consideration of the application to a date certain, as follows:

- a. **Postponement.** Upon determination by the Planning Commission that the special use permit application is not sufficiently complete, failure of the applicant to attend the meeting, or upon request by the applicant, or additional information or clarification as

requested by the Planning Commission, the Planning Commission may postpone further consideration of the application to a date certain.

- b. **Approval, Conditional Approval, Denial.** Planning Commission actions to approve, approve with conditions or deny the application shall be based upon application compliance with all applicable standards of this Ordinance or other Township ordinances, including standards for special use approval in subsection 14.3.J. Failure of the applicant to attend two (2) or more Planning Commission meetings where the application is being considered shall be grounds for the Planning Commission to deny approval.

Key Findings

1. The proposed hours and days of operation for this facility are missing from the site plan.
2. With the exception of a few details that can be addressed on a final site plan, the special use permit application is complete and accurate, and is ready for a public hearing and Planning Commission review and action.
3. The application generally conforms to the standards for special use permit approval found in Section 14.03.J. of the Zoning Ordinance, with some details subject to further review as part of the final site plan application.

Recommendations

Based on the above findings, I would ask that the Planning Commission approve the PSUP22-02 Special Use Permit for a self-storage facility (min-warehouse, mini-storage) located at 5252 S. Mission Road in the NE 1/4 of Section 34 and in the B-4 (General Business) zoning district, subject to verification of the hours and days of operation on the final site plan.

Please contact me at (989) 772-4600 ext. 241, or via email at pgallinat@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Peter Gallinat, Zoning Administrator

Community and Economic Development Department

Draft Motions: PSUP 22-02 Self-Storage Facility, 5252 S. Mission Road
Special Use Permit Application

MOTION TO APPROVE:

Motion by _____, supported by _____, to approve the PSUP 22-02 special use permit application for a self-storage facility at 5252 South Mission Road in the northeast quarter of Section 34 and in the B-4 (General Business) zoning district, finding that it fully complies with Section 14.3.J. (Standards for Special Use Approval).

MOTION TO APPROVE WITH CONDITIONS:

Motion by _____, supported by _____, to approve the PSUP 22-02 special use permit application for a self-storage facility at 5252 South Mission Road in the northeast quarter of Section 34 and in the B-4 (General Business) zoning district, finding that it can comply with Section 14.3.J. (Standards for Special Use Approval), subject to the following condition(s):

1. Verification of the hours and days of operation on the final site plan.

MOTION TO POSTPONE ACTION:

Motion by _____, supported by _____, to postpone action on the PSUP 22-02 special use permit application for a self-storage facility at 5252 South Mission Road until _____, 2022 for the following reasons:

MOTION TO DENY:

Motion by _____, supported by _____, to deny the PSUP 22-02 special use permit application for a self-storage facility located at 5252 South Mission Road in the northeast quarter of Section 34 and in the B-4 (General Business) zoning district, finding that it does not comply with Section 14.3.J. (Standards for Special Use Approval), for the following reasons:

Charter Township of Union

APPLICATION FOR SITE PLAN REVIEW

☐ Minor Site Plan☒ Preliminary Site Plan☐ Final Site Plan

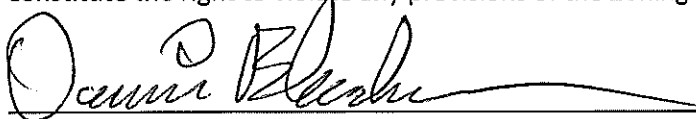
A Completed Application will contain all the information required per the Zoning Ordinance, Section 14.2 (Site Plan Review).

Name of Proposed Development/Project		DARWIN BLANSHAN - 5252 S. MISSION ROAD	
Common Description of Property & Address (if issued)		5252 S. MISSION ROAD	
		MT. PLEASANT, MI 48858	
Applicant's Name(s)		DARWIN BLANSHAN	
Phone/Fax numbers	989-560-7067	Email	dblanshan@gmail.com
Address	3167 PADDOCK LANE	City:	MT. PLEASANT
		Zip:	48858

Legal Description:	<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Included on Site Plan	Tax Parcel ID Number(s):	14-034-20-002-00	
Existing Zoning:	B-4	Land Acreage:	7.27	Existing Use(s):	VACANT LAND
<input checked="" type="checkbox"/> ATTACHED: Letter describing the project and how it conforms to Section 14.2.S. (Standards for Site Plan Approval)					

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name: CENTRAL MI SURVEYING & DEV. CO. INC. Phone: 9897750756 Email: tbebee@cms-d.com			
	2. Address: 2257 E. BROOMFIELD ROAD			
	City: MT. PLEASANT		State: MI MI Zip: 48858	
	Contact Person: TIMOTHY BEBEE		Phone: 989-775-0756	
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name: DARWIN BLANSHAN		Phone: 9895607067	
	Address: 3167 PADDOCK LANE			
	City: MT. PLEASANT		State: MI MI Zip: 48858	
	Signature: _____		Interest in Property: OWNER	
	2. Name: _____		Phone: _____	
	Address: _____			
	City: _____		State: MI Zip: _____	
	Signature: _____		Interest in Property: owner/lessee/other	

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and/or removal of work installed. Approval of this plan shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.



Signature of Applicant

2-16-22

Date

Office Use Only

Application Received By: _____ Fee Paid: \$ _____

Date Received: _____ Escrow Deposit Paid: \$ _____

Preliminary Site Plan Review Procedure

Each preliminary site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

Effect of Preliminary Site Plan Approval

Approval of a preliminary site plan by the Planning Commission shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas in accordance with the standards for preliminary site plan approval specified in subsection 14.2(S). The Planning Commission may, at its discretion and with appropriate conditions attached, authorize limited work to begin for soils exploration, incidental site clearing, and other preliminary site work as specified in the authorization.

Outside Agency Approvals

The applicant shall be responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval.

Final Site Plan Review Procedure

Each final site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

Effect of Final Site Plan Approval

Approval of a final site plan by the Planning Commission constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met.

Minor Site Plan Review Procedure

A minor site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee, and two (2) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and site plans, at a maximum sheet size of 11 inches by 17 inches, at the Township Hall. The Zoning Administrator shall review the application materials and site plan for completeness, accuracy, and compliance with all applicable requirements and standards of this Ordinance and other Township ordinances.

The minor site plan shall be approved by the Zoning Administrator upon determination that all required information for the type of site plan has been provided per subsection 14.2(P), the site plan satisfies the applicable standards for site plan approval per subsection 14.2(S); and the site plan conforms to all other applicable requirements and standards of this Ordinance and other Township ordinances.

CHARTER TOWNSHIP OF UNION

SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: STORAGE BUILDING

Name of business owner(s): DARWIN BLANSHAN

Street and mailing address: 3167 PADDOCK LANE
MT. PLEASANT, MI 48858

Telephone: 989-560-7067

Fax: _____

Email: dblanshan@gmail.com

I affirm that the information submitted is accurate.

Owner(s) signature and date:



Information compiled by:

Shanee Thayer, Office Manager

CENTRAL MI SURVEYING & DEVELOPMENT CO. INC.

Types and Quantities of Hazardous Substances and Polluting Materials Used, Stored or Generated On-Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on -site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

COMMON NAME	CHEMICAL NAME (components)	FORM	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
N/A				
<div> <div></div> <div>NONE</div> </div>	<div> <div>KEY:</div> <div> <div>LIQ. = liquid</div> <div>P.LIQ = pressurized liquid</div> <div>S = solids</div> <div>G = gas</div> <div>PG = pressurized gas</div> </div> </div>			<div>KEY:</div> <div> <div>AGT = above ground tank</div> <div>DM = drums</div> <div>UGT = underground tank</div> <div>Cy = cylinders</div> <div>CM = metal cylinders</div> <div>CW = wooden or composition container</div> <div>TP = portable tank</div> </div>

PERMIT INFORMATION CHECKLIST FOR FINAL SITE PLANS

Michigan.gov/EGLEpermits

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has prepared a list of key questions to help identify what EGLE permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from EGLE, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: Michigan.gov/EHSguide. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the EGLE programs noted below. [insertions and edits by Union Township]

How Do I Know that I Need a State of Michigan, County or Local Permit or Approval?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
1) Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)? Air Quality Permit to Install, Air Quality Division (AQD), Permit Section	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
2) Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos. Asbestos Notification, AQD, Asbestos Program , 517-284-6777	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
3) Please consult the Permitting at the Land and Water Interface Decision Tree document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?). Land and Water Featured Programs (Water Resources Division - WRD) - Joint Permit Application , 517-284-5567:		
a. Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
b. Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
c. Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
d. Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
4) Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction) or does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? Union Township and Isabella County	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
5) Does the project involve the construction or alteration of a water supply system? Union Township Public Services Department and Drinking Water & Environmental Health Division (DWEHD), 517-284-6524	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
6) Does the project involve construction or alteration of any sewage collection or treatment facility? Union Township Public Services Department and WRD, Part 41 Construction Permit Program (staff), 906-228-4527, or EGLE District Office	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
7) Public Swimming Pool Construction (Spas/Hot Tubs) Permits: Will your business involve the construction or modification of a public swimming pool, spa or hot tub? Union Township and Public Swimming Pool Program , 517-284-6541, or EGLE District Office	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
8) Does the project involve the construction or modification of a campground? Union Township and DWEHD, Campgrounds program , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

9) Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground? Materials Management Division (MMD), Solid Waste , 517-284-6588, or EGLE District Office	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
10) Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste? MMD, Hazardous Waste Section, Treatment, Storage and Disposal , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Who Regulates My Drinking (Potable) Water Supply?		
11) I am buying water from the municipal water supply system Contact the Union Township Public Services Dept.	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
12) I have a Non-Community Water Supply (Type II) Guide, Contact (District or County) Local Health Department , 517-485-0660	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
13) I am a community water supply (Type I) Community Water Supply, DWEHD District Office Community Water Supply Program , 517-284-6512	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
14) Do you desire to develop a withdrawal of over 2,000,000 gallons of water per day from any source including groundwater, inland surface water, or the Great Lakes and their connecting waterways? WRD, Great Lakes Shorelands Unit, Water Use Program, 517-284-5563	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Who Regulates My Wastewater Discharge System?		
15) NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? WRD, EGLE District Office , or National Pollutant Discharge Elimination (NPDES) Permit Program , 517-284-5568	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
16) Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? WRD, Permits Section , or EGLE District Office , 517-284-5588	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
17) Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)? WRD, Groundwater Permits Program , 517-290-2570	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
18) Does the project involve the drilling or deepening of wells for waste disposal? Oil, Gas and Minerals Division (OGMD), 517-284-6841	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Operational Permits Are Relevant to My Operation and Air Emissions?		
19) Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? AQD, Permit Section , 517-284-6634	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
20) Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel? AQD, Acid Rain Permit Program , 517-780-7843	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Operational Permits Are Relevant to My Waste Management?		
21) Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground? MMD , 517-284-6588 or EGLE District Office	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
22) Does the project involve the on-site treatment, storage, or disposal of hazardous waste? MMD, Hazardous and Liquid Waste , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
23) Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (Hazardous Waste Program Forms & License Applications) MMD, EGLE District Office , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

24) Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form? MMD, Radioactive Material and Standards Unit , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
25) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD, Radioactive Material and Standards Unit , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
26) Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal? MMD, Medical Waste Regulatory Program , 517-284-6594	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Sector-Specific Permits May be Relevant to My Business?		
Transporters	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
27) Does the project involve the <i>transport</i> of some other facility's non-hazardous liquid waste? MMD, Transporter Program , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
28) Does the project involve the <i>transport</i> of hazardous waste? MMD, Transporter Program , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
29) Do you engage in the business of transporting bulk water for drinking or household purposes (except for your own household use)? DWEHD, Water Hauler Information , 517-284-6527	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
30) Does the project involve <i>transport</i> of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground? DWEHD, Septage Program , 517-284-6535	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
31) Do you store, haul, shred or process <i>scrap tires</i> ? MMD, Scrap Tire Program , 517-284-6586	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Sectors	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
32) Is the project a <i>dry cleaning</i> establishment utilizing perchloroethylene or a flammable solvent in the cleaning process? AQD, Dry Cleaning Program , 517-284-6780	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
33) Does your <i>laboratory</i> test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act? Laboratory Services Certifications , 517-284-5424	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
34) Does the project involve the operation of a <i>public swimming pool</i> ? DWEHD, Public Swimming Pools Program , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
35) Does the project involve the operation of a <i>campground</i> ? Union Township and DWEHD, Campgrounds , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Permits Do I Need to Add Chemicals to Lakes and Streams?		
36) Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc.) in a water body (i.e. lake, pond or river)? WRD, Aquatic Nuisance Control , 517-284-5593	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
37) Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? WRD, Surface Water Assessment Section , 517-331-5228	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

Why would I be subject to Oil, Gas and Mineral Permitting?		
38) Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)? OGMD, Petroleum Geology and Production Unit , 517-284-6826	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
39) Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline? OGMD, Minerals and Mapping Unit, Sand Dune Mining Program , 517-284-6826	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
40) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD, Radioactive Protection Programs , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Petroleum & Mining , OGMD, 517-284-6826		
41) Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
42) Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
43) Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
44) Does the project involve mining coal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
45) Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
46) Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

Contact **Union Township** and [EGLE Permits & Bonding](#), OGMD, 517-284-6841

DARWIN BLANSHAN

PRELIMINARY SITE PLAN REVIEW LETTER

Summary of Request

Self-Storage Units are a Special Use within the B-4 District. The proposed Special Use area will be 7.27 acres and will house 11 total buildings consisting of 8 buildings (30' x 130') and 3 buildings (40' x 130') with a total area 46,800 sq. ft. of storage units when fully developed.

Standards for Preliminary Site Plan Approval (Section 14.2.S)

- 1.) The applicant is legally authorized to apply for site plan approval, and all required information has been provided.
The applicant is the legal owner for the property.
- 2.) The proposed development conforms to the applicable standards and conditions imposed by this Ordinance and other applicable Township ordinances.
Yes, the proposed development conforms to the applicable standards and conditions imposed by this Ordinance and other applicable Township ordinances.
- 3.) The proposed development will be harmonious with and not harmful, injurious, or objectionable to the environment or land uses in surrounding area.
The proposed development is consistent with the zoned uses for the property which is B-4, so it is harmonious with and not harmful, injurious, or objectionable to the environment or land uses in the surrounding area which is also B-4 properties.
- 4.) The proposed development respects natural topography, floodways, and floodplains; and minimizes the amount and extent of cutting or filling.
The proposed development respects natural topography and will try to minimize the cut and fill needed. No floodways and floodplains exist on this site.
- 5.) Organic, wet, or other soils that are not suitable for development will be undisturbed or modified in such fashion as to make development feasible.
The development will disturb only what is necessary to create the proper foundation for the overall site.
- 6.) The movement of the vehicular and pedestrian traffic within the site and in relation to access streets and sidewalks will safe and convenient.
The proposed development is designed to accommodate traffic flow and parking in accordance with the Township ordinances.

- 7.) The proposed development is adequately coordinated with improvements serving the area, and with other existing or planned development in the vicinity.

Yes, the proposed development is adequately coordinated with improvements serving the area and at this time the applicant is not aware of any planned development in the vicinity at this time.

- 8.) Satisfactory and harmonious relationships will exist between the proposed development and the existing and planned development of contiguous lands and the surrounding area, including provisions for proper extensions of public roads and sidewalks through the development in accordance with the Township ordinances. *The proposed development is surrounded by similarly zoned properties and its nature will be harmonious with the contiguous lands and the surrounding area. The property located directly East of the property across the road is operating a similar use.*

- 9.) Development phases are in logical sequence so that any phase will not depend upon a subsequent phase for access, utilities, drainage or erosion control.
The proposed development only has one phase for the site plan review.

DARWIN BLANSHAN
PROPOSED SITE PLAN
5252 S. MISSION ROAD, MT. PLEASANT, MICHIGAN



LOCATION MAP
NOT TO SCALE

B-4 - GENERAL BUSINESS DISTRICT	
MINIMUM FRONT YARD SETBACK	50 FT (I)
MINIMUM SIDE YARD SETBACK	20 FT (J)
MINIMUM REAR YARD SETBACK	25 FT (J)
MINIMUM LOT WIDTH	80 FT
MINIMUM LOT AREA	12,000 SQ. FT.
MAXIMUM LOT COVERAGE	30%
MAXIMUM BUILDING HEIGHT	35 FT

- (I) OFF-STREET PARKING SHALL BE PERMITTED TO OCCUPY A PORTION OF THE REQUIRED FRONT YARD, PROVIDED THAT THERE SHALL BE MAINTAINED A MINIMUM LANDSCAPE SETBACK OF TEN (10) FEET BETWEEN THE NEAREST POINT OF THE OFF-STREET PARKING AND THE NEAREST ROAD RIGHT-OF-LINE AS INDICATED ON THE MASTER THOROUGHFARE PLAN.
- (J) A FORTY (40) FOOT SIDE AND REAR YARD SETBACK SHALL BE PROVIDED WHEN ABUTTING A RESIDENTIAL DISTRICT.

MISS DIG:

FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL "MISS DIG" 1-800-482-7171 A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE APPROPRIATELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

UTILITY NOTE:

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-282-7171) PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND. UNDERGROUND SERVICE LEADS FOR GAS, ELECTRIC, TELEPHONE AND CABLE MAY BE ACROSS PROPERTY, NO INFORMATION AVAILABLE PLEASE CALL MISS DIG.

LEGEND
SYMBOLS

BOLLARD	GAS RISER	SOIL BORING
CATCH BASIN (CURB INLET)	GUY ANCHOR	STORM SEWER MANHOLE
CATCH BASIN (ROUND)	HYDRANT - EXISTING	TELEPHONE RISER
CATCH BASIN (SQUARE)	HYDRANT - PROPOSED	TREE - CONIFEROUS
CLEAN OUT	LIGHT POLE	TREE - DECIDUOUS
DRAINAGE FLOW	MAILBOX	UTILITY POLE
ELECTRICAL BOX	MONITORING WELL	WATER MAIN VALVE
FOUND CONC. MONUMENT	SANITARY SEWER MANHOLE	WATER SHUT-OFF
FOUND IRON	SET IRON	WATER WELL
GAS MAIN VALVE	SIGN	WOOD STAKE

LINETYPES

ELEC	BURIED ELECTRICAL CABLE
PHONE	BURIED TELEPHONE CABLE
DITCH-CL	CENTERLINE OF DITCH
FM	FORCE MAIN
GAS	GAS MAIN
RD-CL	ROAD CENTERLINE
8" SAN	SANITARY SEWER
12" SS	STORM SEWER
EX-TOS	TOE OF SLOPE
EX-TOB	TOP OF BANK
OHE	UTILITIES - OVERHEAD
UTL	UTILITIES - UNDERGROUND
12" WM	WATER MAIN

HATCH PATTERNS

	ASPHALT - EXISTING
	ASPHALT - PROPOSED
	CONCRETE
	GRAVEL
	LANDSCAPING
	RIP-RAP

EXCEPTIONS: (PER SCHEDULE B PART II OF MT. PLEASANT ABSTRACT & TITLE, INC. COMMITMENT NO. 502045)

11. ACCESS EASEMENT TO OPTASIDE, INC. RECORDED AUGUST 19, 2005 IN LIBER 1308, PAGE 404. **AS SHOWN IN SURVEY**
13. EASEMENT IN FAVOR OF CONSUMERS ENERGY COMPANY FOR THE PURPOSE OF INGRESS/EGRESS RECORDED FEBRUARY 12, 2007 IN LIBER 1383, PAGE 75. **AS SHOWN IN SURVEY**

DESCRIPTION PROVIDED: (MT. PLEASANT ABSTRACT & TITLE, INC. COMMITMENT NO. 502045)

COMMENCING 660 FEET NORTH OF THE EAST 1/4 CORNER OF SECTION 34, T14N-R04W, THENCE NORTH 600 FEET, WEST 528 FEET, SOUTH 600 FEET, EAST 528 FEET TO THE POINT OF BEGINNING, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.

SHEET INDEX

- COVER SHEET
- EXISTING TOPOGRAPHY & DEMOLITION
- SITE HORIZONTAL PLAN
- SITE PARKING PLAN
- SITE GRADING & STORM SEWER PLAN
- LANDSCAPING AND SCREENING PLAN
- SOIL EROSION PLAN
- DETAILS SHEET

BEARING BASIS:

PER GEODETIC OBSERVATION WCS-84 THE BEARING BETWEEN THE EAST 1/4 CORNER AND THE NORTHEAST CORNER OF SECTION 34, T14N-R04W WAS DETERMINED TO BE S00°-08'-01"E.

SITE:	5252 S. MISSION ROAD MT. PLEASANT, MI 48858
CLIENT:	DARWIN BLANSHAN 3167 PADDOCK LANE MT. PLEASANT, MI 48858 CONTACT: DARWIN BLANSHAN EMAIL: dblanshan@gmail.com
CONSULTANT:	CENTRAL MICHIGAN SURVEYING & DEVELOPMENT CO., INC. 2257 E. BROOMFIELD ROAD MT. PLEASANT, MI 48858 CONTACT PERSON: TIMOTHY E BEBEE PHONE: (989) 775-0756 FAX: (989) 775-5012 EMAIL: info@cms-d.com

CHARTER COMMUNICATIONS
915 E. BROOMFIELD ROAD
MT. PLEASANT, MI 48858
(989) 621-4932
RANDY BUNKER
rbunker@chartercom.com

CONSUMERS ENERGY
1325 WRIGHT AVENUE
ALMA, MI 48801
(989) 466-4282
KIM STUDDT
kimberly.studdt@cmsenergy.com

FRONTIER
345 PINE AVENUE
ALMA, MI 48801
(989) 463-0392
MARK A. MARSHALL
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DTE ENERGY
4420 44TH ST., S.E., SUITE B
KENTWOOD, MI 49512
(231) 347-1653
TINA MORENO
ernestina.moreno@dteenergy.com

MT. PLEASANT FIRE DEPARTMENT
804 E. HIGH STREET
MT. PLEASANT, MI 48858
(989) 779-5100 EXT 5122
LT. BRAD DOEPKER
bdoepker@mt-pleasant.org

UNION CHARTER TOWNSHIP
PUBLIC WATER/PUBLIC SEWER
2010 S. LINCOLN ROAD
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(989) 772-4600 EXT. 24
KIM SMITH
ksmith@uniontownshipmi.com

UNION CHARTER TOWNSHIP
PLANNING & ZONING
2010 S. LINCOLN ROAD
MT. PLEASANT, MI 48858
(989) 772-0911
PETER GALLINAT
pgallinat@uniontownshipmi.com

DRAIN COMMISSIONERS OFFICE
ISABELLA COUNTY BUILDING
200 N. MAIN STREET ROOM 140
MT. PLEASANT, MI 48857
(989) 772-0911

ROBERT WILLOUGHBY
drain@isabellacounty.org

ISABELLA COUNTY ROAD COMMISSION
2261 E. REMUS ROAD
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PATRICK GAFFNEY
pgaffney@isabellaroads.com

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EMAIL: info@cms-d.com



COVER SHEET
DARWIN BLANSHAN
PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4,
SECTION 34, T14N-R04W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:

SUBMITTALS:
SUBMITTAL FOR PRELIMINARY REVIEW 2-16-22

JOB NUMBER:
2112-186

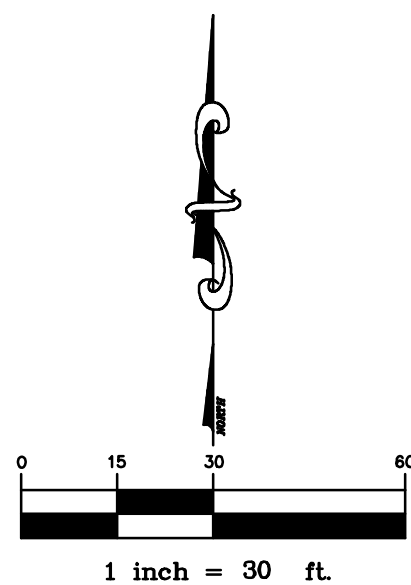
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CDS

DESIGNED BY:
CDS

CHECKED BY:
TELB

SCALE
N/A

SHEET NUMBER
1 of 8



PLEASANT RIDGE PARTNERS LLC
600 W. 22ND STREET STE. 101
OAK BROOK, IL 60523
14-034-20-001-00
ZONED: R4

PLEASANT RIDGE PARTNERS LLC
600 W. 22ND STREET STE. 101
OAK BROOK, IL 60523
14-034-20-001-00
ZONED: R4

DARWIN BLANSHAN
3167 PADDOCK LANE
MT. PLEASANT, MI 48858
14-034-20-002-00
ZONED: B4

KLIMPP MANAGEMENT LLC
1955 E. WALTON ROAD
SHEPHERD, MI 48883
14-034-20-005-00
ZONED: B4

EXISTING STORM STRUCTURES

CB#1
RIM: 811.35
N INV. 808.15 (18" RCP)
S INV. 808.25 (12"x24" CULV)

CB#2
RIM: 807.62
N INV. 802.82 (18" RCP)
S INV. 802.72 (18" RCP)

WILSON DEREK
4989 E. MILLBROOK ROAD
MT. PLEASANT, MI 48858
14-035-10-003-01
ZONED: B4 & AG

NOTE: REMOVE ALL EXISTING
TREES EXCEPT WHERE OTHERWISE
NOTED.

DESHANO DEVELOPMENT CO.
325 COMMERCE COURT
GLADWIN, MI 48624
14-035-10-006-03
ZONED: B4 & AG

CMS & D

SURVEYING / ENGINEERING
2957 E. BROWNFIELD ROAD
MT. PLEASANT, MICHIGAN 48858
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com



EXISTING TOPOGRAPHY & DEMOLITION

DARWIN BLANSHAN
PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4,
SECTION 34, T14N-R04W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:

SUBMITTALS:
SUBMITTAL FOR PRELIMINARY REVIEW 2-16-22

JOB NUMBER:
2112-186

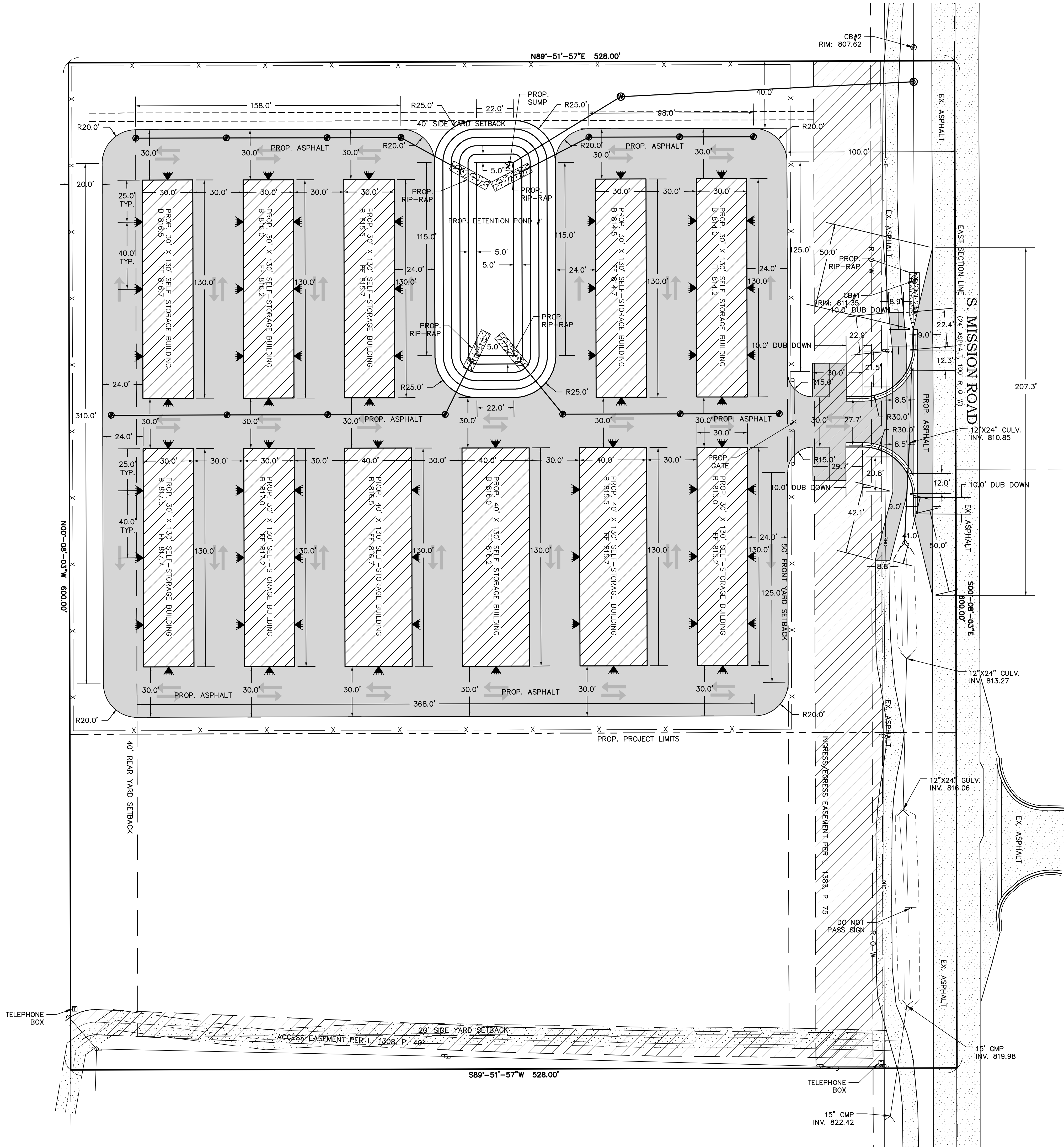
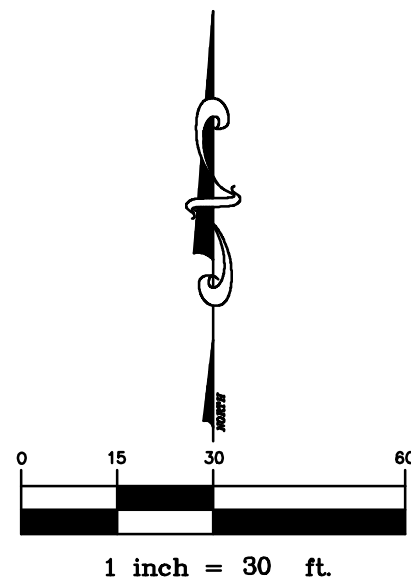
DRAWN BY:
CDS

DESIGNED BY:
CDS

CHECKED BY:
TELB

SCALE
1" = 30'

SHEET NUMBER
2 of 8



EXISTING STORM STRUCTURES	
CB#1	RIM: 811.35 N INV. 808.15 (18" RCP) S INV. 808.25 (12"x24" CULV)
CB#2	RIM: 807.62 N INV. 802.82 (18" RCP) S INV. 802.72 (18" RCP)

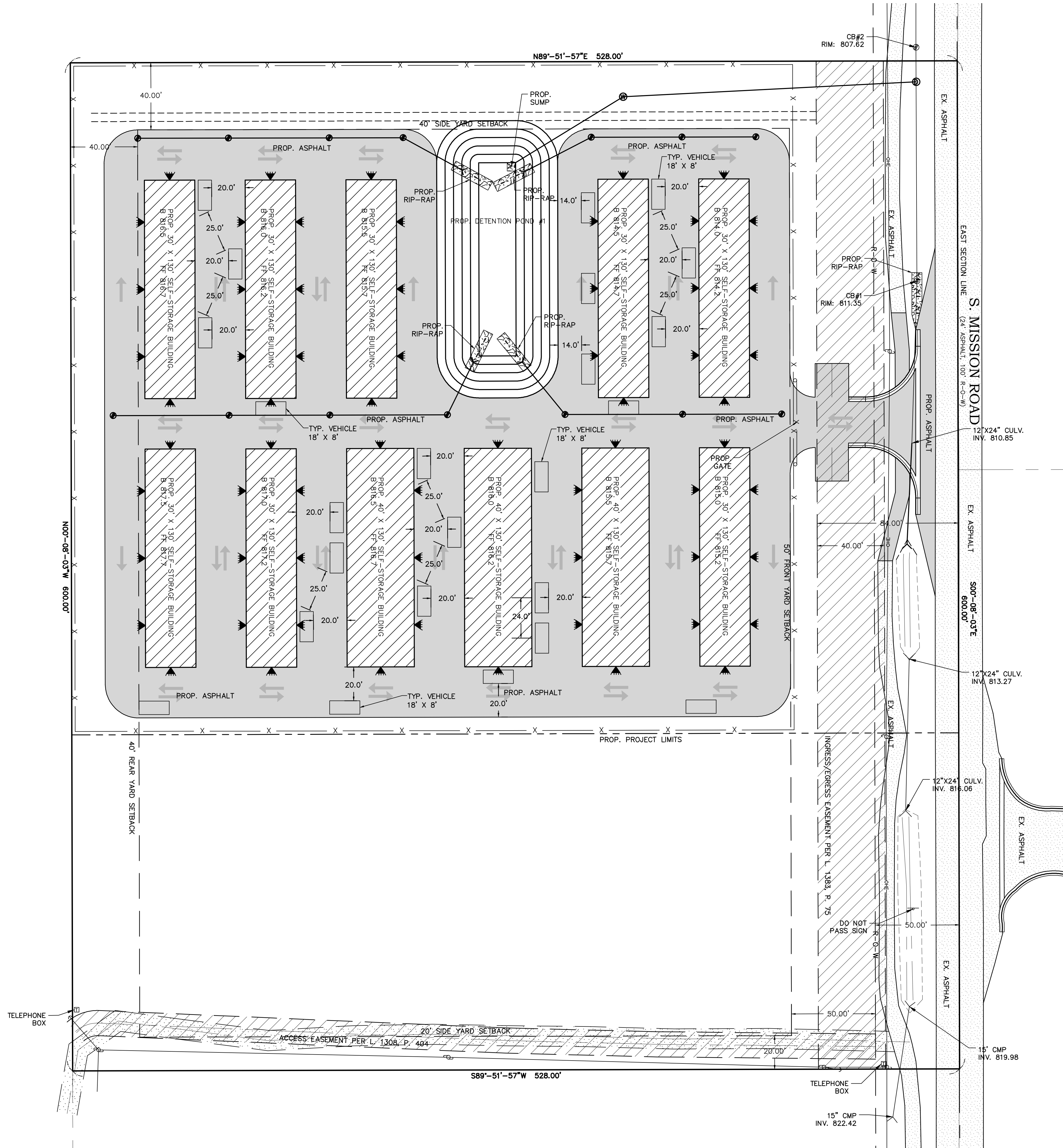
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SITE HORIZONTAL PLAN
DARWIN BLANSHAN
PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4,
SECTION 34, T14N-R04W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

SCALE 1" = 30'	SUBMITTALS: SUBMITTAL FOR PRELIMINARY REVIEW 2-16-22	
	JOB NUMBER: 2112-186	DESIGNED BY: CDS
SHEET NUMBER 3 OF 8	DRAWN BY: CDS	CHECKED BY: TEL
	REVISIONS:	



CB#1
RIM: 811.35
N INV. 808.15 (18" RCP)
S INV. 808.25 (12"X24" CULV)

CB#2
RIM: 807.62
N INV. 802.82 (18" RCP)
S INV. 802.72 (18" RCP)

PARKING REQUIREMENTS AND BUILDING

GENERAL PARKING COUNT BY USE

- SELF-STORAGE UNITS
- 0.1 SPACES PER STORAGE UNIT,
- PLUS 5 SPACES AT SITE OFFICE
- 336 UNITS X 0.1 = 33.6 = 34 + 5 = **39 SPACES**

REQUIRED AND PROVIDED PARKING

REGULAR SPACES REQUIRED =	39
MAXIMUM SPACES PROVIDED =	96
A.D.A SPACES REQUIRED =	2
A.D.A SPACES PROVIDED =	2
TOTAL REQUIRED PARKING SPACES =	39
TOTAL PROVIDED PARKING SPACES =	99

PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4,
SECTION 34, T14N-R04W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

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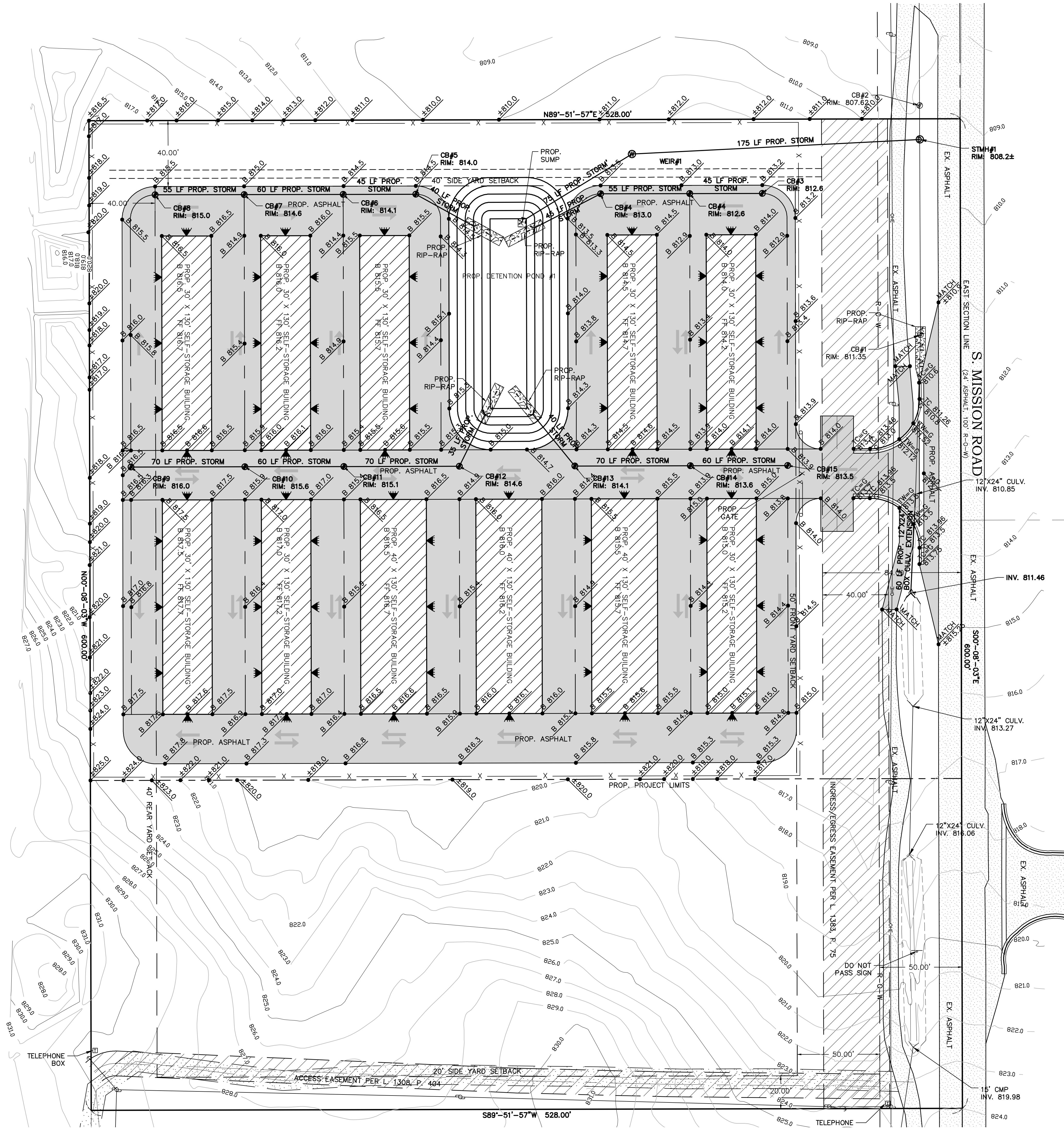
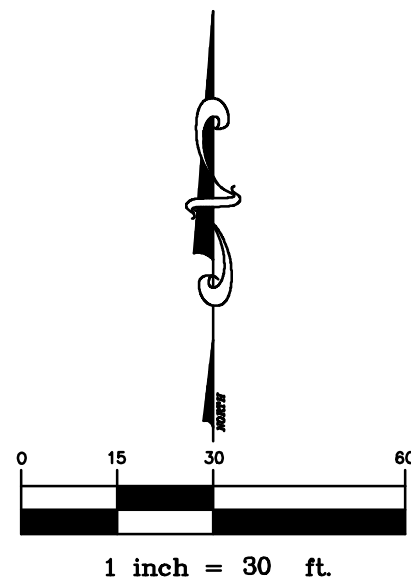
SCALE

DESIGNED BY:

SHEET NUMBER

CDS
CHECKED BY:

8
of
4



EXISTING STORM STRUCTURES	
CB#1	RIM: 811.35 N INV. 808.15 (18" RCP) S INV. 808.25 (12"X24" CULV)
CB#2	RIM: 807.62 N INV. 802.82 (18" RCP) S INV. 802.72 (18" RCP)

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SURVEYING / ENGINEERING

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SITE GRADING & STORM SEWER PLAN

DARWIN BLANSHAN

PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4,
SECTION 34, T14N-R04W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

SUBMITTALS:

2112-186

DRAWN BY:

CDS

DESIGNED BY:

CDS

CHECKED BY:

TELB

SCALE

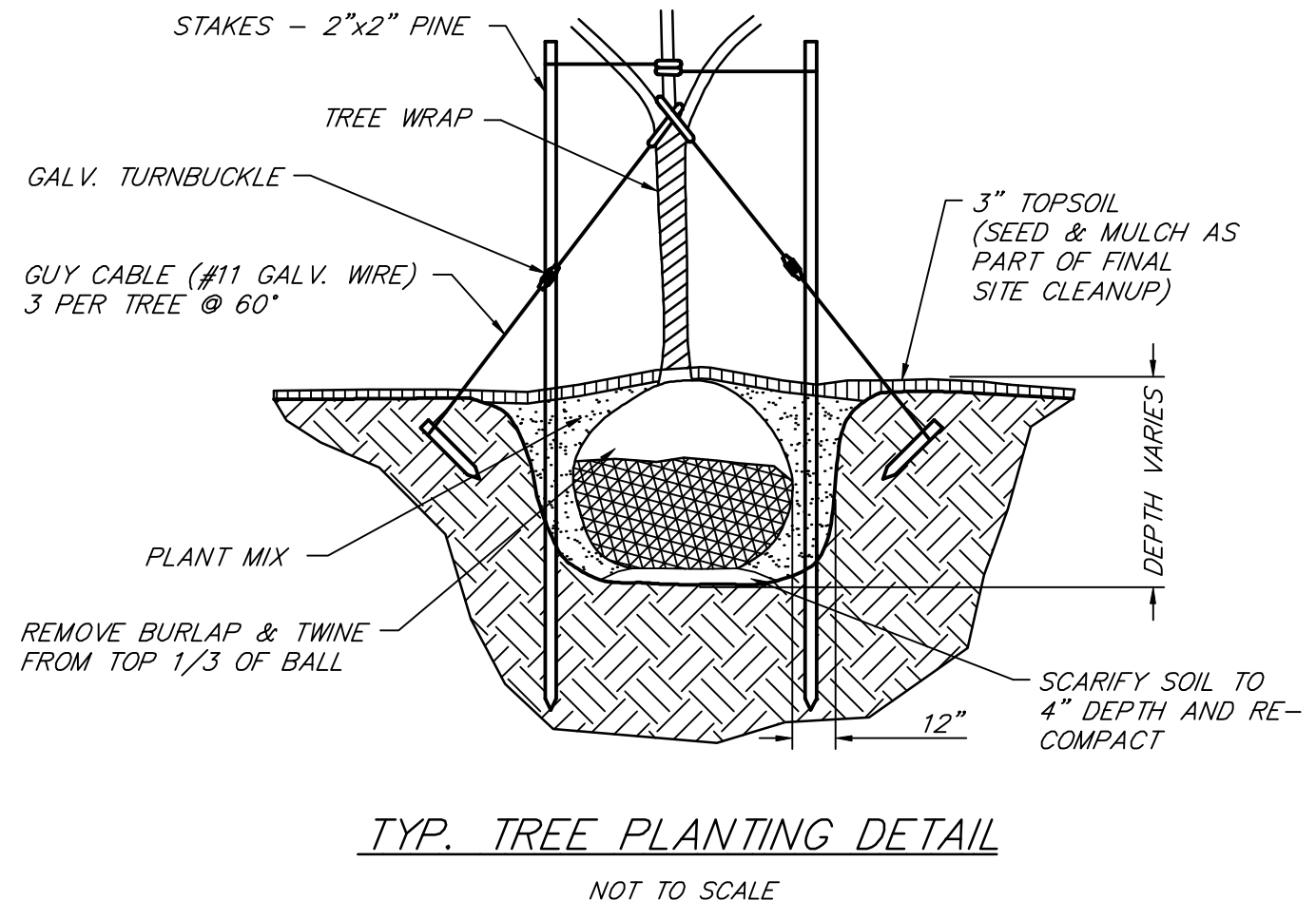
1" = 30'

SHEET NUMBER

5 OF 8

REVISIONS:

SUBMITTAL FOR PRELIMINARY REVIEW 2-16-22



PROJECT LANDSCAPING:

IN ACCORDANCE WITH SECTION 10, LANDSCAPING AND SCREENING OF THE UNION CHARTER TOWNSHIP ORDINANCE, THE FOLLOWING SHALL BE PLANTED IN ACCORDANCE WITH SECTION 10.2 SUMMARY OF MINIMUM PLANTING REQUIREMENTS AND SUMMARY OF PLANT MATERIAL SPECIFICATIONS OF PLANTING AND SECTION 10.4, STANDARDS FOR LANDSCAPING MATERIALS.

LANDSCAPING ADJACENT TO S. MISSION ROAD.

1) THERE ARE SHOWN (10) "STREET" TREES FOR THE 400 FEET OF ROAD FRONTAGE, LESS THE ACCESS DRIVE ON S. MISSION ROAD. 1 TREE FOR EVERY 40 FRONT FEET.

2) THERE ARE (4) ORNAMENTAL STREET TREES FOR THE 400 FEET OF ROAD FRONTAGE, LESS THE ACCESS DRIVE ON S. MISSION ROAD. 1 TREE FOR EVERY 100 FRONT FEET.

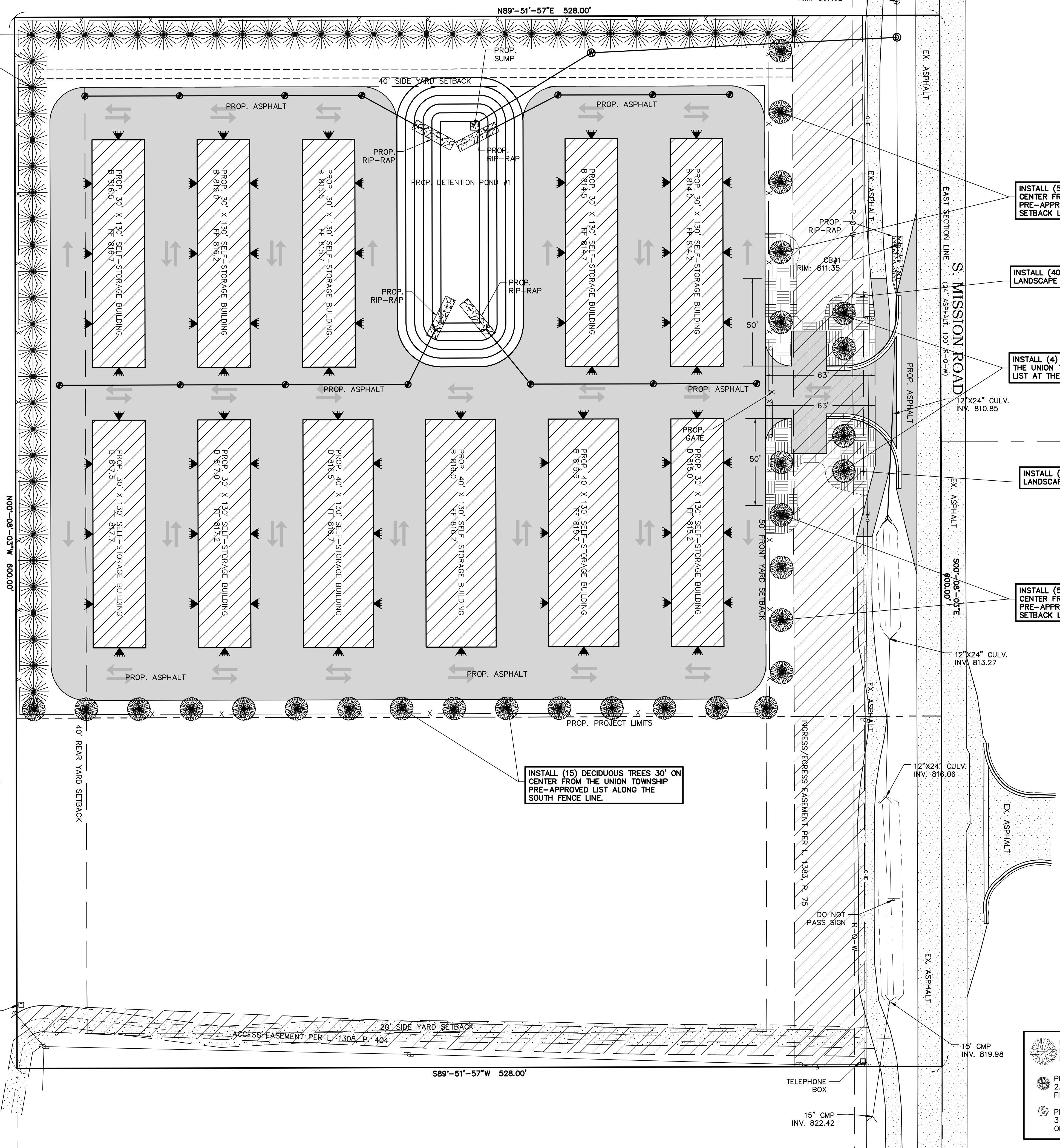
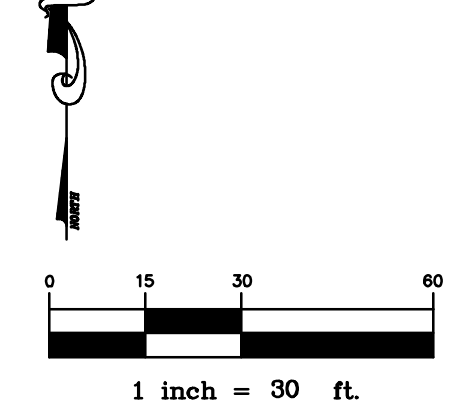
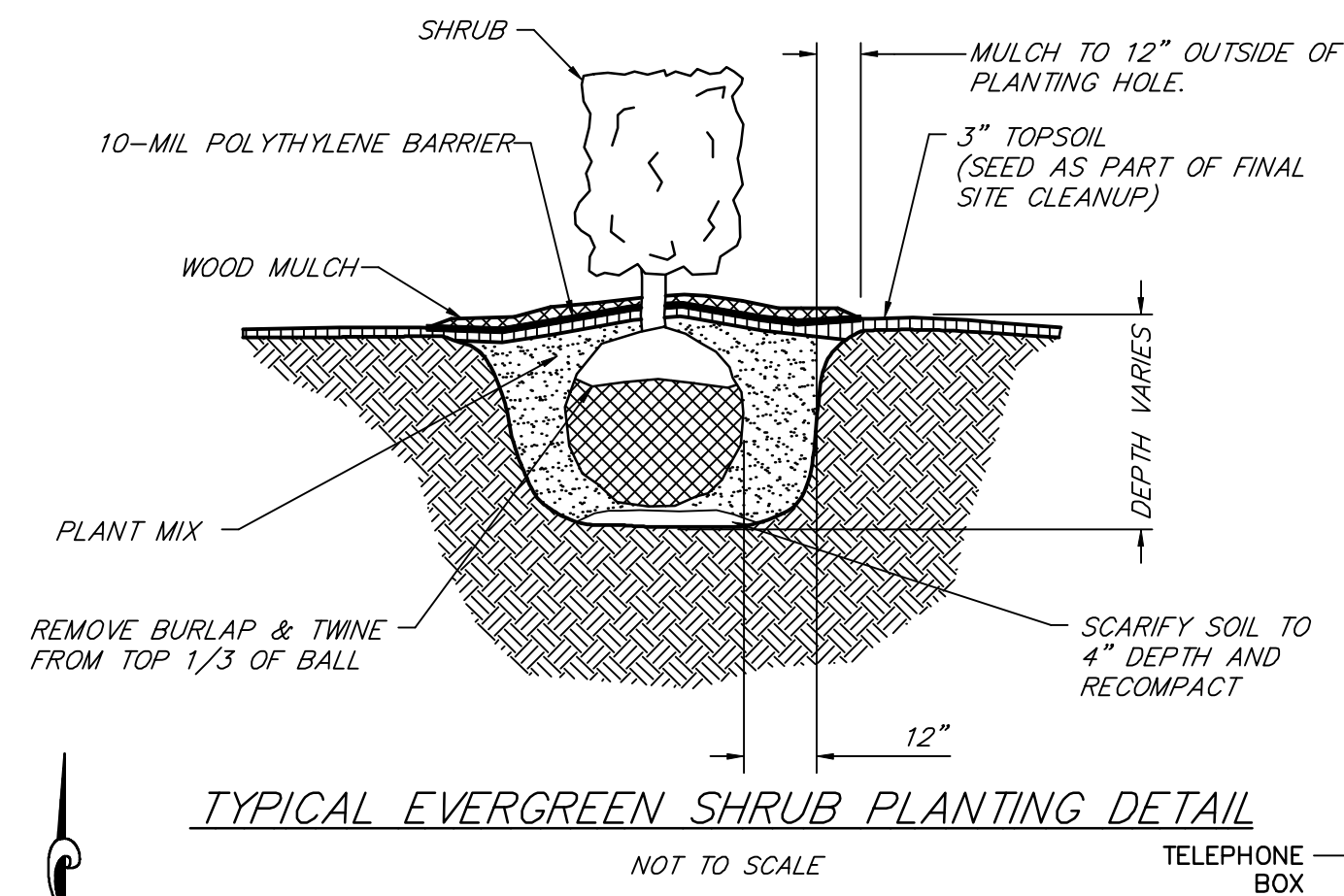
3) THERE ARE (80) SHRUBS FOR THE 400 FEET OF ROAD FRONTAGE, LESS THE ACCESS DRIVE ON S. MISSION ROAD. 8 SHRUBS FOR EVERY 40 FRONT FEET.

SCREENING ADJACENT TO RESIDENTIAL SHALL BE EVERGREENS SPACED NO MORE THAN 15 FEET ON CENTER. THE PROPOSED PROJECT IS ADJACENT TO A RESIDENTIAL ZONE OR USE ALONG THE NORTH AND WEST PROPERTY LINES. AS SUCH, THERE ARE (55) EVERGREEN TREES FOR THE 828 FEET ADJACENT TO THE RESIDENTIAL ZONE. 1 TREE FOR EVERY 15 FEET.

PARKING LOT LANDSCAPING SHALL BE 1 TREE FOR EVERY 5 PARKING SPACES. THE PROPOSED PROJECT HAS NO DEDICATED PARKING LOT.

GREENBELTS SHALL BE DECIDUOUS OR EVERGREEN TREES SPACED NO MORE THAN 30 FEET ON CENTER. THE PROPOSED PROJECT INCLUDES A GREENBELT ALONG THE PROPOSED SOUTH FENCE LINE. AS SUCH, THERE ARE (15) DECIDUOUS TREES FOR THE 450 FEET OF FENCE LINE. 1 TREE FOR EVERY 30 FEET.

LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH SECTION 10.5, INSTALLATION AND MAINTENANCE. LANDSCAPING WILL HAVE ONE YEAR GUARANTEE FROM THE INSTALLER. PRIOR TO THE ONE YEAR ANNIVERSARY, THE INSTALLER WILL REPLACE ANY DAMAGED, DYING OR DEAD PLANTINGS. FOLLOWING THIS GUARANTEE PERIOD, EACH SPRING, THE PLANTINGS SHALL BE INSPECTED AND ANY DAMAGED, DYING OR DEAD PLANTINGS WILL BE REPLACED. GENERAL LAWN AREAS WILL BE MAINTAINED AND MOWED REGULARLY.



EXISTING STORM STRUCTURES	
CB#1	RIM: 811.35 N INV. 808.15 (18" RCP) S INV. 808.25 (12"x24" CULV)
CB#2	RIM: 807.62 N INV. 802.82 (18" RCP) S INV. 802.72 (18" RCP)

INSTALL (5) DECIDUOUS TREES 40' ON CENTER FROM THE UNION TOWNSHIP PRE-APPROVED LIST ALONG THE FRONT SETBACK LINE.

INSTALL (40) SHRUBS AND BUSHES IN LANDSCAPE AREA.

INSTALL (4) ORNAMENTAL TREES FROM THE UNION TOWNSHIP PRE-APPROVED LIST AT THE FRONT ENTRANCE.

INSTALL (40) SHRUBS AND BUSHES IN LANDSCAPE AREA.

INSTALL (5) DECIDUOUS TREES 30' ON CENTER FROM THE UNION TOWNSHIP PRE-APPROVED LIST ALONG THE FRONT SETBACK LINE.

TREE PLANTING GENERAL NOTES:

1. STAKE TREES UNDER 4" CALIPER
2. GUY TREES 4" CALIPER & OVER
3. PRUNE TO THIN & SHAPE CANOPY
4. CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION
5. SET TOP OF BALL TO CORRESPOND WITH FINISH GRADE
6. SET STAKES VERTICAL AND EVENLY
7. STAYS OR GUYS TO BE SET ABOVE FIRST BRANCH
8. SCARIFY SOIL TO 4" DEPTH & RECOMPACT
9. STAKES TO EXTEND 18" BELOW PIT IN UNDISTURBED SOIL

NOTE: ALL OTHER SOFT AREAS NOT DESIGNATED AS COVERED SHALL BE GRASS COVERED.

TREE COVER

STREET PLANTINGS - S. MISSION ROAD	
10 DECIDUOUS TREES	
4 ORNAMENTAL TREES	
80 SHRUBS	
SCREENING PLANTINGS - N. & W. PROP.	
53 EVERGREEN TREES	

- PROP DECIDUOUS TREE WITH A MIN. CALIPER OF 2.5 INCHES AND A MIN. HEIGHT OF 4 FEET TO FIRST BRANCH.
- PROP ORNAMENTAL TREE - MIN. CALIPER OF 2.0 INCHES & A MIN. HEIGHT OF 4 FEET TO FIRST BRANCH.
- PROP SHRUB- MIN. HEIGHT OF 3 FEET AND A MIN. SPREAD OF 2 FEET.

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EMAIL: info@cms-d.com

LANDSCAPING AND SCREENING PLAN
DARWIN BLANCHAN
PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4,
SECTION 34, T14N-R04W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

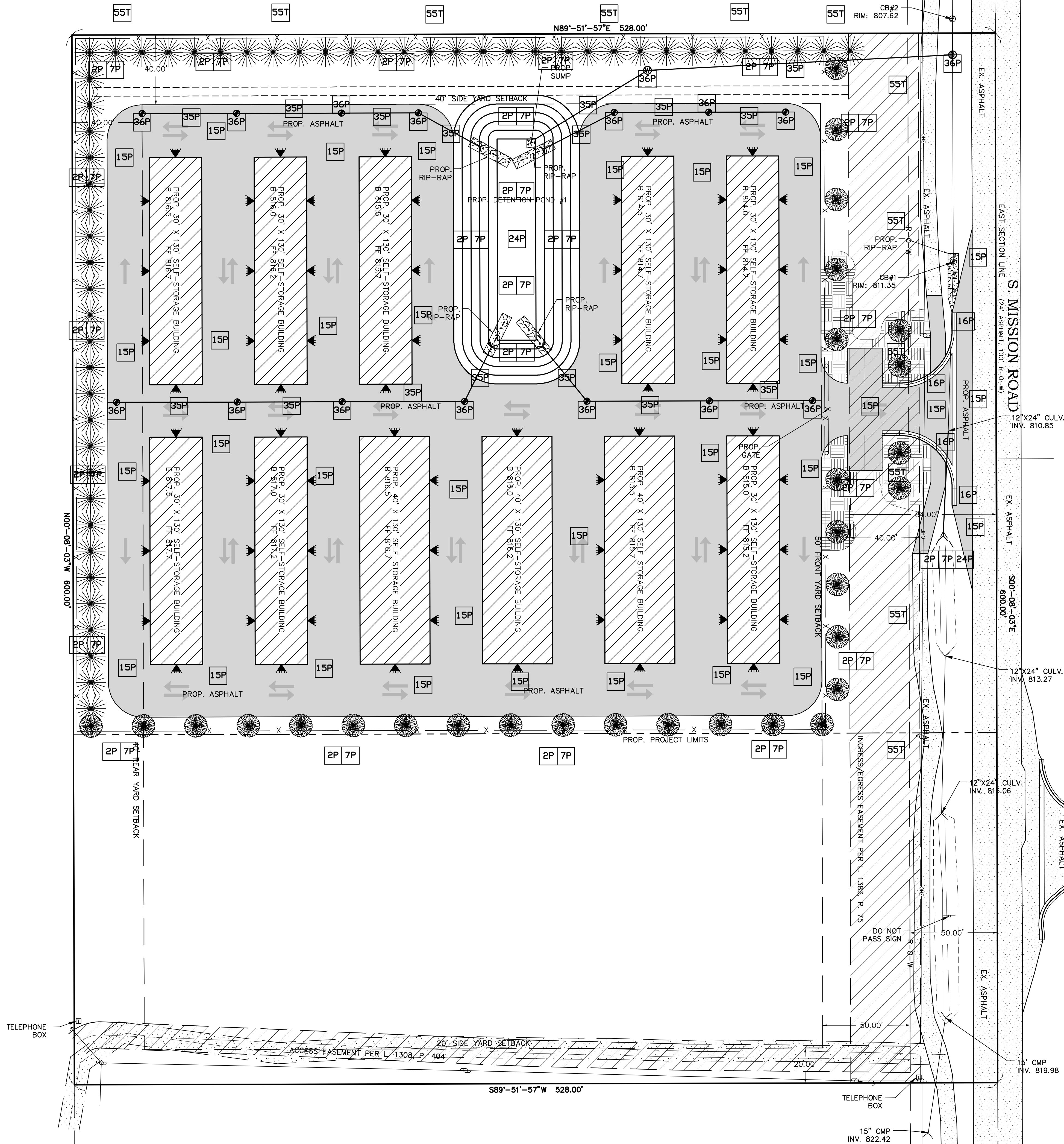
SUBMITTALS:		REVISIONS:	
SUBMITTAL FOR PRELIMINARY REVIEW 2-16-22			
JOB NUMBER:	2112-186	DRAWN BY:	CDS
DESIGNED BY:	CDS	CHECKED BY:	TELB
SCALE:	1" = 30'	SHEET NUMBER:	6 OF 8

XP
XT

MICHIGAN UNIFIED KEYING SYSTEM
SOIL EROSION & SEDIMENTATION CONTROL MEASURES
P = PERMANENT T = TEMPORARY

KEY	DETAIL	CHARACTERISTICS
2	Selective Grading & Shaping	Water can be diverted to minimize erosion Flatter slopes ease erosion problems
7	Hydro-seeding	Effective on large areas Mulch looking agent used to provide immediate protection until grass is rooted Should include prepared topsoil bed
15	Paving	Protects areas which cannot otherwise be protected, but increases runoff volume and velocity Irregular surface will help slow velocity
16	Curb & Gutter	Keeps high velocity runoff on paved areas from leaving paved surface Collects and conducts runoff to enclosed drainage system or prepared drainageway
24	Grassed Waterway	Much more stable form of drainage way than bare channel Grass tends to slow runoff and filter out sediment Used where bare channel would be eroded
33	Sediment Trap	May be constructed of a variety of materials Traps sediment and reduces velocity of flow Can be cleaned and expanded as needed
35	Storm Sewer	System removes collected runoff from site, particularly from paved areas Can accept large concentrations of runoff Conducts runoff to municipal sewer system or stabilized outfall location Use catch basins to collect sediment
36	Catch Basin, Drain Inlet	Collects high velocity concentrated runoff May use filter cloth over inlet

55	Geotextile Silt Fence	Controls and Contains sediment from sheet flow conditions. Fabric must be "load" into the soil 6" or more to prevent underflow. Must be constructed of adequate strength filter fabric and stakes.
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SOIL EROSION PLAN
DARWIN BLANSHAN
PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4,
SECTION 34, T14N-R04W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:

SUBMITTALS:
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JOB NUMBER:
2112-186

SCALE
1" = 30'

DRAWN BY:
CDS

SHEET NUMBER
7 OF 8

DESIGNED BY:
CDS

CHECKED BY:
TEL

2112-186

7 OF 8

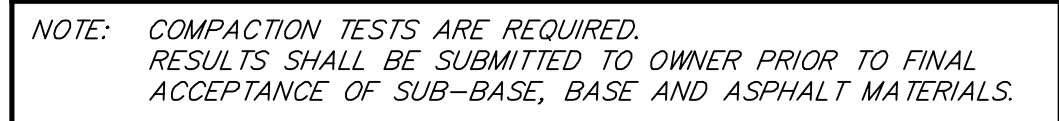
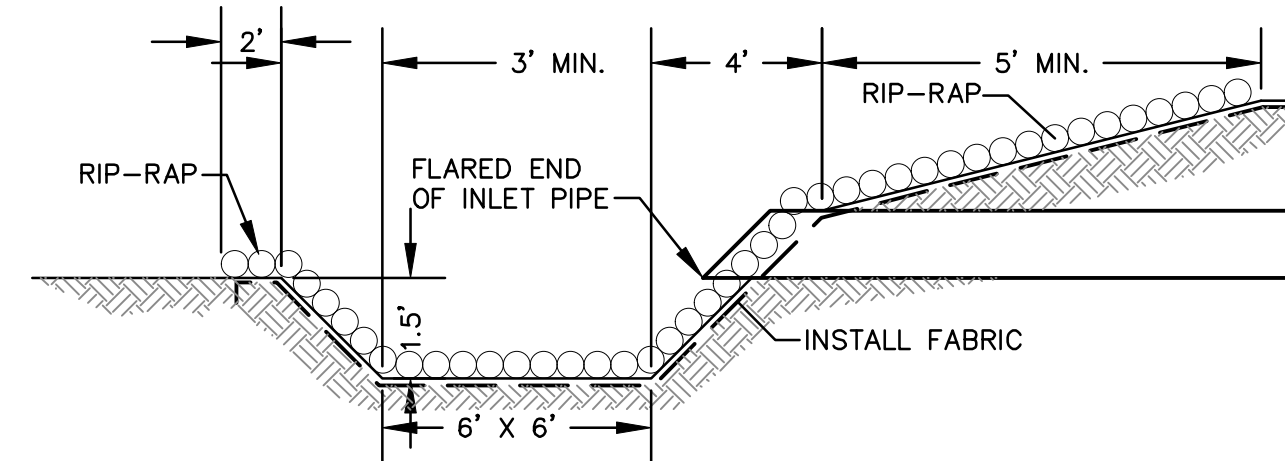


Diagram illustrating the installation of a stop sign in a landscape area. The sign is mounted on a 12 FT. MIN. STEEL U-2 SIGN POST (3 LB. CLASS). The sign is positioned 2'-0" MIN. TO CURB from the curb. The sign is 7'-0" high from the curb. The sign is labeled "STOP SIGN INSTALLED IN LANDSCAPE AREA".

1' - 2" 1' - 6" (≅ 1' - 4") 1' - 1 1/2" R 1' - 3 1/2" 8 1/2" 1' - 2" 5 1/2" 9' 4" 2 - 8" (≅ 2' - 6") 4"

M.D.O.T. B-2 CURB
NOT TO SCALE

CONCRETE DRIVEWAY OPENING – DETAIL M



24, 36, 48 & 60" R.C.P.
CLASS 2 - PRECAST
CONCRETE M.P.H.

Y
X

NOTE:
ALL STRUCTURES SHALL HAVE 6"
PERFORATED WEEP TILE WITH SOCK
FINGER DRAIN 4-4 FEET BELOW RIM
GRADE WITH A BOOT AT THE
STRUCTURE.

PLAN
NOT TO SCALE



Diagram illustrating the planting hole preparation for a shrub:

- MULCH TO 12" OUTSIDE OF PLANTING HOLE.
- 3" TOPSOIL (SEED AS PART OF FINAL SITE CLEANUP)
- 10-MIL POLYETHYLENE BARRIER
- WOOD MULCH
- PLANT MIX
- REMOVE BURLAP & TWINE FROM TOP 1/3 OF BALL
- SCARIFY SOIL TO 4" DEPTH AND RECOMPACT
- DEPTH VARIES
- 12"

TYPICAL EVERGREEN

STAKES - 2"x2" PINE

TREE WRAP

GALV. TURNBUCKLE

GUY CABLE (#11 GALV. WIRE)
3 PER TREE @ 60°

3" TOPSOIL
(SEED & MULCH AS
PART OF FINAL
SITE CLEANUP)

PLANT MIX

REMOVE BURLAP & TWINE
FROM TOP 1/3 OF BALL

DEPTH VARIES

12"

SCARIFY SOIL TO
4" DEPTH AND RE-
COMPACT

The diagram illustrates a cross-section of a tree support system. A central vertical stake is surrounded by a tree wrap. Two additional stakes are positioned on either side, connected to the central stake by galvanized turnbuckles. Guy cables, made of #11 galvanized wire, are attached to the turnbuckles and anchored into the ground at a 60-degree angle. The ground surface is covered with a 3-inch layer of topsoil, which includes seed and mulch. Below the topsoil is a layer of plant mix. The tree's root ball is partially covered by the plant mix, and the top 1/3 of the ball is wrapped in burlap and twine, which is to be removed. The depth of the topsoil layer varies. A 12-inch diameter is indicated for the base of the support structure. The soil is to be scarified to a 4-inch depth and re-compacted.

REFER TO PLANS FOR CASTING

4'-0" FOR SEWERS 8"-24"

DOGHOUSE OPENING FOR SEWER PIPE SHALL BE CAST IN MANHOLE SECTION. AFTER PLACING PIPE, FILL AROUND PIPE WITH NON-SHRINK MORTAR

REMOVE PIPE FROM STRUCTURE

PRECAST OPENING FOR 12" N-12. FILL AROUND PIPE WITH NON-SHRINK MORTAR.

12" N-12

INV. = 747.86

INV. = 745.24

A. 4"x4" MESH PAVEMENT REINFORCEMENT MINIMUM

9 1/2"

3"

6" MIN. 6A STONE

6" GRADE "A" CONCRETE

D.B. OF MANHOLE

6A STONE

UNDISTURBED EARTH

NOTE: MANHOLE RISERS AND CONES SHALL MEET THE REQUIREMENT OF A.S.T.M. SPEC.-C-478. LENGTH OF EACH RISER SHALL BE A MULTIPLE OF 16" LENGTH OF CONE SHALL BE 2'-8" MIN. TWO LIFT HOLES WILL BE PERMITTED IN EACH UNIT, AND MUST BE FILLED WITH NON-SHRINK MORTAR AFTER SETTING MANHOLE.

PRELIMINARY SITE PLAN REPORT

TO:	Planning Commission	DATE:	March 8, 2022
FROM:	Peter Gallinat, Zoning Administrator	ZONING:	B-4, General Business District
PROJECT:	PSPR 22-03 Preliminary Site Plan Application Self Storage Facilities (Mini-warehouse, Mini-Storage)		
PARCELS:	PID 14-034-20-002-00		
OWNER(S):	Dar Blanshan		
LOCATION:	Approx. 7.27 acres located at 5252 S. Mission Road in the NE 1/4 of Section 34.		
EXISTING USE:	Vacant Property.	ADJACENT ZONING:	AG, R-4
FUTURE LAND USE DESIGNATION: <i>Neighborhood Service:</i> Located primarily along corridors adjoining lower intensity land uses, the intent of this district is to limit future retail and focus on small-scale personal service and office uses. This district accommodates shallow lots, providing a good buffer and transition to residential uses and limiting heavy commercial and general retail uses so they can be focused on other areas of the township. Rear yards adjoining residential areas should be well-screened to limit impacts of higher intensity uses. These areas should be accessible and comfortable for the pedestrian and should create a sense of place along the roadway.			
ACTION REQUESTED: To review the PSPR 22-03 preliminary site plan dated 2-16-2022 for a proposed self-storage facility located at 5252 S. Mission Road in the NE 1/4 of Section 34 and in the B-4 (General Business) District.			

Site Plan Approval Process

Per Section 14.2.C. of the Zoning Ordinance, both preliminary and final site plan approvals are required for this project. Per Section 14.2.J., preliminary site plan approval by the Planning Commission *"shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas."* Planning Commission approval of a final site plan *"constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met"* (Section 14.2.L.). Documentation of applicable outside agency permits and approvals will be required as part of a final site plan application.

Preliminary Site Plan Review Comments

The following comments are based on the standards for preliminary site plan approval and specific elements of the proposed site plan:

1. **Section 14.2.P. (Required Site Plan Information).** The site plan substantially conforms to

the minimum Section 14.2.P. information requirements for a preliminary site plan. The following details and corrections will need to be addressed on the final site plan:

Missing Preliminary Site Plan Information	
Calculations for parking, lot coverage, total ground floor area, and other applicable Ordinance requirements.	<input type="checkbox"/>
Detailed exterior building façade elevation drawings for all proposed dwellings, principal buildings, and additions, drawn to an appropriate scale and indicating types, colors, and dimensions of finished wall materials.	<input type="checkbox"/>
Add the hours and days of operation to the final site plan.	<input type="checkbox"/>

2. **Section 8 (Environmental Performance Standards).** The applicant has submitted a completed Hazardous Substances Reporting form EGLE Permit checklist form.
3. **Section 7.14 (Trash Removal and Collection).** No dumpster or enclosure is shown on the site plan. An on-site dumpster is not required for this project.
4. **Section 7.10 (Sidewalks and Pathways).** There is an existing pathway on site already constructed.
5. **Section 9 (Parking, Loading, and Access Management).** The following detail will need to be addressed by the applicant on the final site plan:
 - ☐ Parking requires 0.1 space per storage unit. 4 spaces are shown in the front of the development. A total number of units must be specified on the final site plan to confirm that the standard has been met.
6. **Section 6.38 Self Storage Buildings.** The final site plan will need to show roof design but otherwise conforms to the applicable requirements of this Section.
7. **Outside agency approvals.** The applicant shall be responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval. These approvals include the State of Michigan, Mt. Pleasant Fire Department, Township Public Services Department, Isabella County Road Commission, Isabella County Transportation Commission, and Storm Water approval from the Isabella County Drain office.
 - ☐ Copies of all outside agency permits and approval letters will need to be submitted to Peter Gallinat, Zoning Administrator prior to or as part of the final site plan submittal.

Objective

The Planning Commission shall review the application materials and site plan, together with any reports and recommendations. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to approve the site plan, to approve the site plan with conditions, to deny the site plan application, or to postpone further consideration of the site plan to a date certain in accordance with Section 14.2.H. of the Zoning Ordinance.

Key Findings

1. With the exception of a few details that can be addressed on the final site plan, the application as presented conforms to the minimum requirements of Section 14.2.P. information requirements for a preliminary site plan.
2. The application and preliminary site plan are complete and accurate, and are ready for Planning Commission review and action.

Recommendations

Based on the above findings I recommend that the PSPR 22-03 preliminary site plan dated 2-16-2022 for s proposed Self-Storage facility located at 5252 S. Mission Road. in the NE 1/4 of Section 34 and in the B-4 (General Business) District be approved as presented.

Please contact me at (989) 772-4600 ext. 241, or via email pgallinat@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Peter Gallinat – Zoning Administrator

Community and Economic Development Department

Draft Motions: PSPR 22-03 Self-Storage Facility, 5252 S. Mission Road
Preliminary Site Plan Review Application

MOTION TO APPROVE:

Motion by _____, supported by _____, to approve the PSPR 22-03 preliminary site plan for a proposed self-storage facility at 5252 South Mission Road in the northeast quarter of Section 34 and in the B-4 (General Business) District, finding that the site plan dated February 16, 2022 fully complies with applicable Zoning Ordinance requirements for preliminary site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval).

MOTION TO APPROVE WITH CONDITIONS:

Motion by _____, supported by _____, to approve the PSPR 22-03 preliminary site plan for a proposed self-storage facility at 5252 South Mission Road in the northeast quarter of Section 34 and in the B-4 (General Business) District, finding that the site plan dated February 16, 2022 can comply with applicable Zoning Ordinance requirements for preliminary site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), subject to the following condition(s):

MOTION TO POSTPONE ACTION:

Motion by _____, supported by _____, to postpone action on the PSPR 22-03 preliminary site plan for a proposed self-storage facility at 5252 South Mission Road until _____, 2021 for the following reasons:

MOTION TO DENY:

Motion by _____, supported by _____, to deny the PSPR 22-03 preliminary site plan for a proposed self-storage facility at 5252 South Mission Road in the northeast quarter of Section 34 and in the B-4 (General Business) District, finding that the site plan dated February 16, 2022 does not comply with applicable Zoning Ordinance requirements, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), for the following reasons:

Charter Township of Union

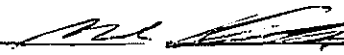
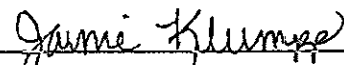
APPLICATION FOR SPECIAL USE PERMIT APPROVAL

A completed application will contain all information required per the Zoning Ordinance, Section 14.3 (Special Use Permits); and be accompanied by a separate minor site plan or preliminary site plan application per Section 14.02.C. (Site Plan Approval Required).

☐ Minor Site Plan
☒ Preliminary Site Plan

Name of Proposed Development/Project		Heirloom Grove	
Common Description of Property & Address (if issued)		5297 S. Whiteville Rd., Mt. Pleasant MI 48858	
Applicant's Name(s)		Michael & Jaime Klumpp	
Phone/Fax numbers	989-621-3577/ 989-828-4304	Email	contact@heirloom-grove.com
Address		1955 E. Walton Rd.	City: Shepherd Zip: 48883

Legal Description:	<input checked="" type="checkbox"/> Attached	Included on Site Plan	Tax Parcel ID Number(s): 14-032-10-006-02
Existing Zoning:	Ag	Land Acreage:	80.1 Existing Use(s): Agriculture
<input checked="" type="checkbox"/> ATTACHED: Letter describing the proposed use and how it conforms to Section 14.3.J. (Standards for Special Use Approval)			

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name: Central Michigan Surveying and Devel. Phone: 989-775-0756 Email: tbebee@cms-d.com		
	2. Address: 2257 E. BROOMFIELD ROAD City: Mt. Pleasant State: MI Zip: 48858 Contact Person: Tim Beebe Phone: 989-775-0756		
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name: Michael Klumpp Phone: 989-621-3577		
	Address: 1955 E. Walton Rd.		
	City: Shepherd State: MI Zip: 48883		
	Signature:  Interest in Property: owner		
	2. Name: Jaime Klumpp Phone: 989-621-3579		
	Address: 1955 E. Walton Rd.		
City: Shepherd State: MI Zip: 48883			
Signature:  Interest in Property: owner			

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information may be cause for revocation of the special use permit approval. Approval of the requested special use shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.


Signature of Applicant

2/5/22
Date

Office Use Only

Application Received By: _____ Fee Paid: \$ _____

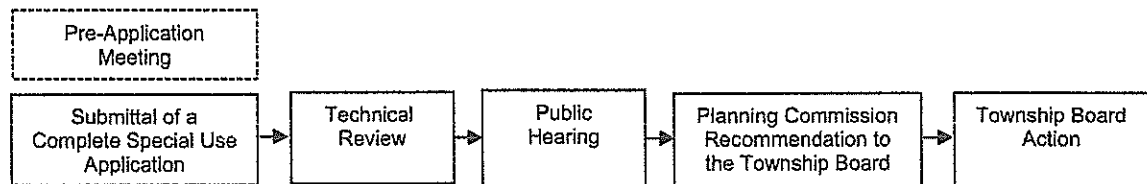
Date Received: _____ Escrow Deposit Paid: \$ _____

Section 14.3 Special Use Permits (excerpts)

E. Application Information.

The following minimum information shall be required with any application for special use permit approval:

1. The name, address, and contact information for the applicant, and the applicant's legal interest in the property. If the applicant is not the owner, the name, address, and contact information for the owner(s) and the signed consent of the owner(s) shall also be required.
2. Signature(s) of the applicant(s) and owner(s), certifying the accuracy of the information.
3. A legal description of the property, including street address(es) and tax code number(s).
4. A detailed description of the proposed use.
5. Supporting statements, evidence, data, information, and exhibits that address the standards and requirements of this Section and Ordinance that apply to the proposed use, applicable requirements and standards of this Ordinance or other Township ordinances, including standards for special use approval in Subsection 14.3(J).
6. A survey drawing or plan view of the subject property drawn to a standard engineer's scale and correlated with the legal description and clearly showing the property's location, lot boundaries, road rights-of-way, easements, existing structures, fences, and other improvements. Where required per Section 14.2, a site plan shall satisfy this requirement.
7. Any other information determined necessary by the Township Planner, Planning Commission or Township Board to verify compliance with this Ordinance or other Township ordinances.



Special Use Review Process

- J. Standards for Special Use Approval.** No special use permit shall be granted unless the Township Board makes affirmative findings of fact and records adequate data, information, and evidence showing that:
1. The proposed land use is identified in Section 3 as a special use in the zoning district.
 2. The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason of traffic, noise, vibration, smoke, fumes, odors, dust, glare, light, drainage, pollution or other adverse impacts.
 3. The special use will be designed, constructed, operated, and maintained in a manner compatible with adjacent uses, the surrounding area, and the intent of the zoning district. Where determined necessary by the Planning Commission or Township Board, the applicant has provided adequately for any restrictions on hours or days of operation, minimization of noise, and screening improvements or other land use buffers to ensure land use compatibility and minimize adverse impacts.
 4. The special use location and character is consistent with the general principles, goals, objectives, and policies of the adopted Master Plan.
 5. The proposed special use conforms to all applicable requirements or standards of this Ordinance or other Township ordinances.
 6. Approval of the special use location will not result in a small residential or non-residential area being substantially surrounded by incompatible uses.
 7. The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited to roads, police and fire protection services, refuse disposal, municipal water or sewerage systems, other utilities, drainage facilities, and public or private wells. The proposed use will not create additional requirements at public cost for services or infrastructure that will be detrimental to the economic welfare of the community.

Heirloom Grove

Michael + Jaime Klumpp

5297 S. Whiteville Rd, Mt. Pleasant, MI 48858

Parcel ID: 14-032-10-006-02

Legal Description:

T14N R4W SEC 32 S 1/2 OF NW 1/4.AG EXEMPT TRANSFER FOR AFFID L1510 P363
REGISTERED03-04-10 FOR SALE PR L1492 P386 DATED 08-07-09WITH 2010 CAPPED TV =
44501 & AV = 142100(FROM #14-032-10-006-00).COMBINATION FOR 2013 FROM 10-006-00 &
10-006-01 TO 10-006-02.AG EXEMPT TRANSFER FOR AFFID L1659 P638 REGISTERED02-10-14
FOR SALE ML L1638 P952 DATED 06-25-13WITH 2014 CAPPED TV = 80814 & AV = 212400

Standards for Special Use Approval (Section 14.3.J.)

- 1.) The proposed land use is identified in Section 3 as a special use in the zoning district.
The special land use requested is for Agri-tourism, Agricultural Service Establishments, Conservation Areas (public or private), and Campgrounds or Recreational Grounds. In an attached letter is a more detailed explanation of an example of what activities would happen on the property.
- 2.) The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason of traffic, noise, vibration, smoke, fumes, odors, dust, glare, light, drainage, pollution or other adverse impacts.
The proposed activities for the property will not be hazardous, detrimental or injurious to the area. They are what would be consider within normal practices for an agricultural area.
- 3.) The special use will be designed, constructed, operated, and maintained in a manner compatible with adjacent uses, the surrounding area, and the intent of the zoning district. Where determined necessary by the Planning Commission or Township Board, the applicant has provided adequately for any restrictions on hours or days of operation, minimization of noise, and screening improvements or other land use buffers to ensure land use compatibility and minimize adverse impacts.
The proposed special use will be designed, constructed, operated, and maintained in a manner compatible with adjacent uses as the surrounding area is zoned agricultural and all proposed activities are within normal activities that would happen on an operating farm. Should the Planning Commission require that applicant adjust to their plans to ensure land use compatibility and minimize adverse impacts, the applicant will work with the Township and their representatives to reach a solution that is agreeable to both parties.
- 4.) The special use location and character is consistent with the general principles, goals, objectives, and policies of the adopted Master Plan.
The applicate believes that the proposed special use is consistent with the adopted Master Plan as it is agricultural actives and the proposed future land use for the area is rural preservation that the operations would support.
- 5.) The proposed special use conforms to all applicable requirements or standards of this Ordinance or other Township ordinances.
The proposed special use does conform to all applicable requirements and standards.

- 6.) *Approval of the special use location will not result in a small residential or non-residential area being substantially surrounded by incompatible uses.*

An approval of the proposed special use is a 15-acre portion of the overall 80 acres and the surrounding properties are agricultural and no property would be surrounded by this special use property.

- 7.) The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited to roads, police and fire protection services, refuse disposal, municipal water or sewerage systems, other utilities, drainage facilities, and public or private wells. The proposed use will not create additional requirements at public cost for services or infrastructure that will be detrimental to the economic welfare of the community.

Based on the proposed special use and activities planned the applicant does not see them impacting the capacity of public or municipal services or infrastructure. It is believed that the proposed special use will enhance the economic welfare of the community and not be detrimental.

Union Township Planning Commission,

Today we respectfully present an application for a Special Use Permit for our property located at 5297 South Whiteville Road, Mt. Pleasant, MI in Union Township.

Currently, this 80 acre property, just south of Mt. Pleasant, is zoned Agricultural, and is how we have utilized the property for many years, growing organic corn, soybeans, wheat, and industrial hemp. In 2021, we dedicated approximately 15 acres of this property, to Heirloom Grove, Jaime's woman-owned specialty farm. In the last year, Heirloom Grove planted 120 fruit trees, 220 blueberry bushes, 6 acres of sunflowers, and renovated the working barn. We utilized the year's harvest, by selling wholesale sunflowers to local shops and farm markets, created our line of Heirloom Grove Sunflower Seeds, and extracted hemp oils for Heirloom Grove's line of seed-to-skin CBD bath and wellness products.

In 2022, Heirloom Grove plans to expand our specialty farm further, by adding additional fruit trees and blueberry bushes, more varieties of sunflowers, tulip and lavender fields, specialty herbs and summer flowers, and potential grape vineyards, and honey cultivation.

Heirloom Grove would also like to expand the farm by having the opportunity to welcome the public onto the farm for Agri-tourism and educational opportunities, and to shop our market retail space, thus our request for this Special Use Permit.

With our current AG zoning, principal uses permitted include Customary Agricultural Operations, Road-side farm stands, Nursery/ plant material, and Greenhouses, however we do not feel this fully encompasses all we would like to do on the property. Under Special Uses in Ag zoning, the following is permitted: Agri-tourism, Agricultural Service Establishments, Conservation Areas (public or private), and Campgrounds or Recreational Grounds; which we believe would permit us the opportunity for the following types of activities we aspire to do on the property:

- You Pick Days - You Pick Apples, Blueberries, Sunflowers, Lavender.
- Photo Opportunity Events - Photos in the Tulips (Spring) and Sunflowers (Summer/Fall.)
- Agri-tourism - Public welcome for educational and enjoyment purposes.
- Open Market Retail space - located inside an area of the barn for event passes ("you pick days") and shop Heirloom Grove farm-made products, other Michigan farm-produced products, and other boutique specialty items such as gifts, home decor, garden seeds, bulbs, and seasonal items.
- Seasonal Events - Tulip Days (visit the tulip fields), Fall Harvest days (vendors, pumpkin-picking, corn maze), Christmas on the farm (Christmas trees & wreaths, Santa visits.)

Thank you for considering our Special Use Permit application and the opportunity to welcome guests onto our quaint, country, specialty farm at certain opportune times when the farm is in bloom and/or the market is open. We look forward to offering a positive, peaceful, and relaxing agricultural experience for local families and patrons here in the heart of Central Michigan.

Thank you,


Jaime & Michael Klumpp

HEIRLOOM GROVE

PRELIMINARY SITE PLAN & SPECIAL USE

5297 S. WHITEVILLE ROAD, MT. PLEASANT, MICHIGAN



COVER SHEET
HEIRLOOM GROVE
THE SOUTH 1/2 OF THE NORTHWEST 1/4,
SECTION 32, T14N-R04W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

AG -- AGRICULTURAL DISTRICT	
MINIMUM FRONT YARD SETBACK	50 FT
MINIMUM SIDE YARD SETBACK	16.5 FEET (C/D)
MINIMUM REAR YARD SETBACK	50 FT
MINIMUM LOT WIDTH	165 FT
MINIMUM LOT AREA	43,560 SQ FT
MINIMUM LOT DEPTH	165 FT
MAXIMUM LOT DEPTH	(A)
MAXIMUM LOT COVERAGE	40%
MAXIMUM BUILDING HEIGHT	35 FT (B)

- (A) THE DEPTH OF THE LOT SHALL NOT EXCEED FOUR (4) TIMES THE LOT WIDTH, MEASURED AT THE FRONT BUILDING LINE.
- (B) NO BUILDING OR STRUCTURE SHALL EXCEED A HEIGHT OF TWO AND ONE-HALF (2 1/2) STORIES OR THIRTY-FIVE (35) FEET, EXCEPT THAT SILOS, ELEVATORS, BARNs AND OTHER STRUCTURES CUSTOMARILY NECESSARY TO FARMING SHALL HAVE A MAXIMUM HEIGHT OF NINETY-NINE (99) FEET, PROVIDED THAT ANY REQUIRED SETBACK SHALL BE INCREASED BY ONE (1) FOOT FOR EACH FOOT THAT THE STRUCTURE EXCEEDS THIRTY-FIVE (35) FEET.
- (C) SIDE YARDS FACING A STREET SHALL COMPLY WITH FRONT YARD SETBACK REQUIREMENTS
- (D) FOR ONE-FAMILY DWELLINGS, NO SIDE YARD SHALL BE LESS THAN TEN (10) PERCENT OF THE REQUIRED LOT WIDTH FOR ALL OTHER USES. NO SIDE YARD SHALL BE LESS THAN THIRTY (30) FEET.

MISS DIG:

FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL "MISS DIG" 1-800-482-7171 A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE APPROPRIATELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

UTILITY NOTE:

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-282-7171) PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND. UNDERGROUND SERVICE LEADS FOR GAS, ELECTRIC, TELEPHONE AND CABLE MAY BE ACROSS PROPERTY, NO INFORMATION AVAILABLE PLEASE CALL MISS DIG.

LEGEND SYMBOLS

○ BOLLARD	☐ GAS RISER	⊙ SOIL BORING
☐ CATCH BASIN (CURB INLET)	☐ GUY ANCHOR	⊙ STORM SEWER MANHOLE
⊙ CATCH BASIN (ROUND)	☐ HYDRANT - EXISTING	☐ TELEPHONE RISER
☐ CATCH BASIN (SQUARE)	☐ HYDRANT - PROPOSED	☐ TREE - CONIFEROUS
⊙ CLEAN OUT	☐ LIGHT POLE	☐ TREE - DECIDUOUS
→ DRAINAGE FLOW	☐ MAILBOX	☐ UTILITY POLE
☐ ELECTRICAL BOX	☐ MONITORING WELL	☐ WATER MAIN VALVE
● FOUND CONC. MONUMENT	☐ SANITARY SEWER MANHOLE	☐ WATER SHUT-OFF
○ FOUND IRON	● SET IRON	☐ WATER WELL
☐ GAS MAIN VALVE	☐ SIGN	☐ WOOD STAKE

LINETYPES

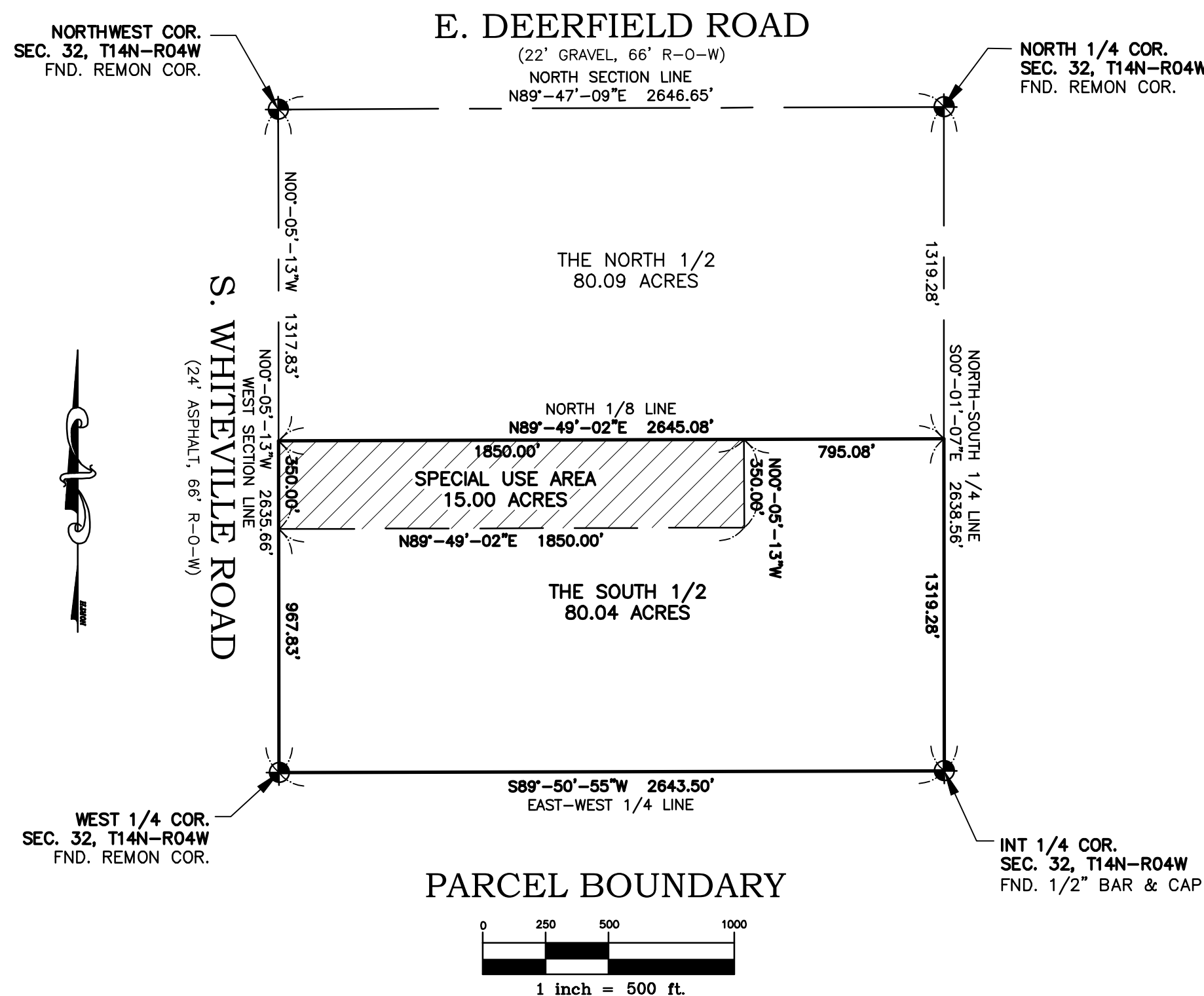
—ELEC—	BURIED ELECTRICAL CABLE
—PHONE—	BURIED TELEPHONE CABLE
—DITCH-CL—	CENTERLINE OF DITCH
—FM—	FORCE MAIN
—GAS—	GAS MAIN
—RD-CL—	ROAD CENTERLINE
—8" SAN—	SANITARY SEWER
—12" SS—	STORM SEWER
—EX-TOS—	TOE OF SLOPE
—EX-TOB—	TOP OF BANK
—OHE—	UTILITIES - OVERHEAD
—UTIL—	UTILITIES - UNDERGROUND
—12" WM—	WATER MAIN

HATCH PATTERNS

ASPHALT - EXISTING
ASPHALT - PROPOSED
CONCRETE
GRAVEL
LANDSCAPING
RIP-RAP



LOCATION MAP
NOT TO SCALE



SPECIAL USE AREA DESCRIPTION:

THE NORTH 350 FEET OF THE WEST 1850 FEET OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 32, T14N-R04W, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.

OVERALL PARCEL DESCRIPTION: (WARRANTY DEED, LIBER 1659, PAGE 631)

THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 32, T14N-R04W, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.

WITNESSES:

INTERIOR 1/4 COR.

FND. 1/2" BAR & CAP, PER LORC L. 6, P. 55
AZ.157° 30.63' FND N&T IN 4" MAPLE
AZ.82° 14.15' FND N&T IN 16" MAPLE
AZ.269° 9.02' FND N&T IN 8" ELM
AZ.81° 7.05' CENTER OF 6" CORNER POST

NORTH 1/4 COR.

FND. REMON COR., PER LORC L. 3, P. 1
N10°E 26.22' FND PK N&T IN CORNER POST
N30°E 35.03' FND SCAFF NAIL IN POWER POLE
S50°W 45.99' FND N&T IN TELEPHONE POLE
S20°E 20.01' FND NAIL IN POST

WEST 1/4 COR.

FND. REMON COR., PER LORC L. 6, P. 317-318
S43°W 52.38' N&T IN NW FACE OF CUT OFF POWER POLE
N50°E 47.42' FND N&T IN SW FACE OF POWER POLE
S60°E 31.33' DOUBLE HEADED NAIL W/ ROWE TAG S SIDE 4" FENCE POST
EAST 29.82' WEST FACE 6" METAL POST

NORTHWEST COR.

FND. REMON COR., PER LORC L. 6, P. 319-320
N28°W 48.07' CENTERLINE OF TELEPHONE PEDESTAL
N58°E 49.15' CENTERLINE OF TELEPHONE PEDESTAL
S12°E 107.55' N&T WEST SIDE OF ELM TREE
S78°W 39.30' TOP BACK OF CURB CONCRETE JOINT

SHEET INDEX

- 1 COVER SHEET
2 EXISTING TOPOGRAPHY SURVEY
3 PRELIMINARY SITE PLAN

BEARING BASIS:

PER GEODETIC OBSERVATION WGS-84 THE BEARING BETWEEN THE WEST 1/4 CORNER AND THE NORTHWEST CORNER OF SECTION 32, T14N-R04W WAS DETERMINED TO BE N00°-05'-13"W.

SITE:	5279 S. WHITEVILLE ROAD MT. PLEASANT, MI 48858
CLIENT:	MIKE & JAIME KLUMPP 1955 E. WALTON ROAD SHEPHERD, MI 48883 CONTACT: MIKE KLUMPP PHONE: (989) 621-3577 & (989) 828-4307 EMAIL: contact@heirloom-grove.com
CONSULTANT:	CENTRAL MICHIGAN SURVEYING & DEVELOPMENT CO., INC. 2257 E. BROOMFIELD ROAD MT. PLEASANT, MI 48858 CONTACT PERSON: TIMOTHY E BEBEE PHONE: (989) 775-0756 FAX: (989) 775-5012 EMAIL: info@cms-d.com

CHARTER COMMUNICATIONS

915 E. BROOMFIELD ROAD
MT. PLEASANT, MI 48858
(989) 621-4932
RANDY BUNKER
rbunker@chartercom.com

CONSUMERS ENERGY

1325 WRIGHT AVENUE
ALMA, MI 48801
(989) 466-4282
KIM STUDD
kimberly.studd@cmsenergy.com

FRONTIER

345 PINE AVENUE
ALMA, MI 48801
(989) 463-0392
MARK A. MARSHALL
Mark.Marshall@ftr.com

DTE ENERGY

4420 44TH ST., S.E., SUITE B
KENTWOOD, MI 49512
(231) 347-1653
TINA MORENO
ernestina.moreno@dteenergy.com

MT. PLEASANT FIRE DEPARTMENT

804 E. HIGH STREET
MT. PLEASANT, MI 48858
(989) 779-5100 EXT 5122
LT. BRAD DOEPKER
bdoepker@mt-pleasant.org

UNION CHARTER TOWNSHIP

PUBLIC WATER/PUBLIC SEWER
2010 S. LINCOLN ROAD
MT. PLEASANT, MI 48858
(989) 772-4600 EXT. 24
KIM SMITH
ksmith@uniontownshipmi.com

UNION CHARTER TOWNSHIP

PLANNING & ZONING
2010 S. LINCOLN ROAD
MT. PLEASANT, MI 48858
(989) 772-4600 EXT. 241
PETER GALLINAT
pgallinat@uniontownshipmi.com

DRAIN COMMISSIONERS OFFICE

ISABELLA COUNTY BUILDING
200 N. MAIN STREET ROOM 140
MT. PLEASANT, MI 48857
(989) 772-0911
ROBERT WILLOUGHBY
drain@isabellacounty.org

ISABELLA COUNTY ROAD COMMISSION

2261 E. REMUS ROAD
MT. PLEASANT, MI 48858
(989) 773-7131 EXT 115
PATRICK GAFFNEY
pgaffney@isabellaroads.com

REVISIONS:

SUBMITTALS:
SUBMITTAL TO CLIENT 2-15-22

JOB NUMBER:	2202-021
SCALE:	N/A
DRAWN BY:	CDS
DESIGNED BY:	CDS
CHECKED BY:	TELB

SHEET NUMBER	1 of 3
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HERMES JAMES & JUDY
1088 E. DEERFIELD ROAD
MT. PLEASANT, MI 48858
14-032-10-002-12
ZONED: AG

CUTHERBERT NICHOLAS & MABEL
2215 W. 49TH STREET
MINNEAPOLIS, MN 55409
14-031-20-008-00
ZONED: AG

NORTHWEST COR.
SEC. 32, T14N-R04W
FND. REMON. COR.

NORTH 1/8 LINE

16.5' SIDE YARD SETBACK

S. WHEEVILLE ROAD
(24" ASPHALT 66" B-O-W) 97

WEST SECTION	LINE
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— WEST 1/4 COR.
SEC. 32, T14N—R04W
FND. REMON. COR.

KLUMPP MICHAEL
1955 E. WALTON ROAD
SHEPHERD, MI 48883
14-032-10-006-02
ZONED: AG

NOTE: A 12" STORM RISER FOR THE PETERSON DRAIN, A COUNTY DRAIN, SITS 366 FEET, MORE OR LESS, SOUTH AND 331.5 FEET, MORE OR LESS, EAST OF THE SOUTHEASTERLY MOST CORNER OF CONCRETE. ALL DRAINAGE ON PROPERTY FLOWS TO THIS POINT. THE RISER RIM IS AT AN ELEVATION 820.11 FEET, AND THE INVERT OF THE DRAIN ITSELF IS 816.19 FEET.

EXISTING TOPOGRAPHY SURVEY

HEIRLOOM GROVE
THE SOUTH 1/2 OF THE NORTHWEST 1/4,
SECTION 32, T14N-R04W,
JUNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:

SUBMITTALS:

JOB NUMBER:
2202-021

DRAWN BY:
 ORC

DESIGNED BY:

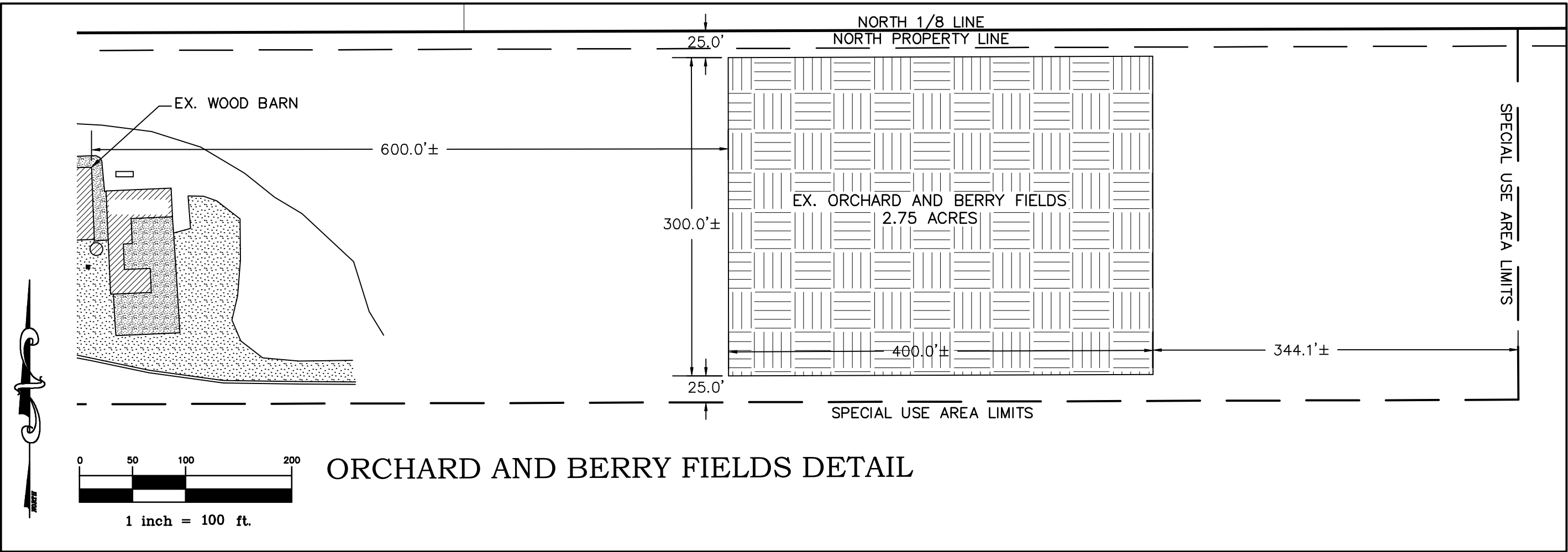
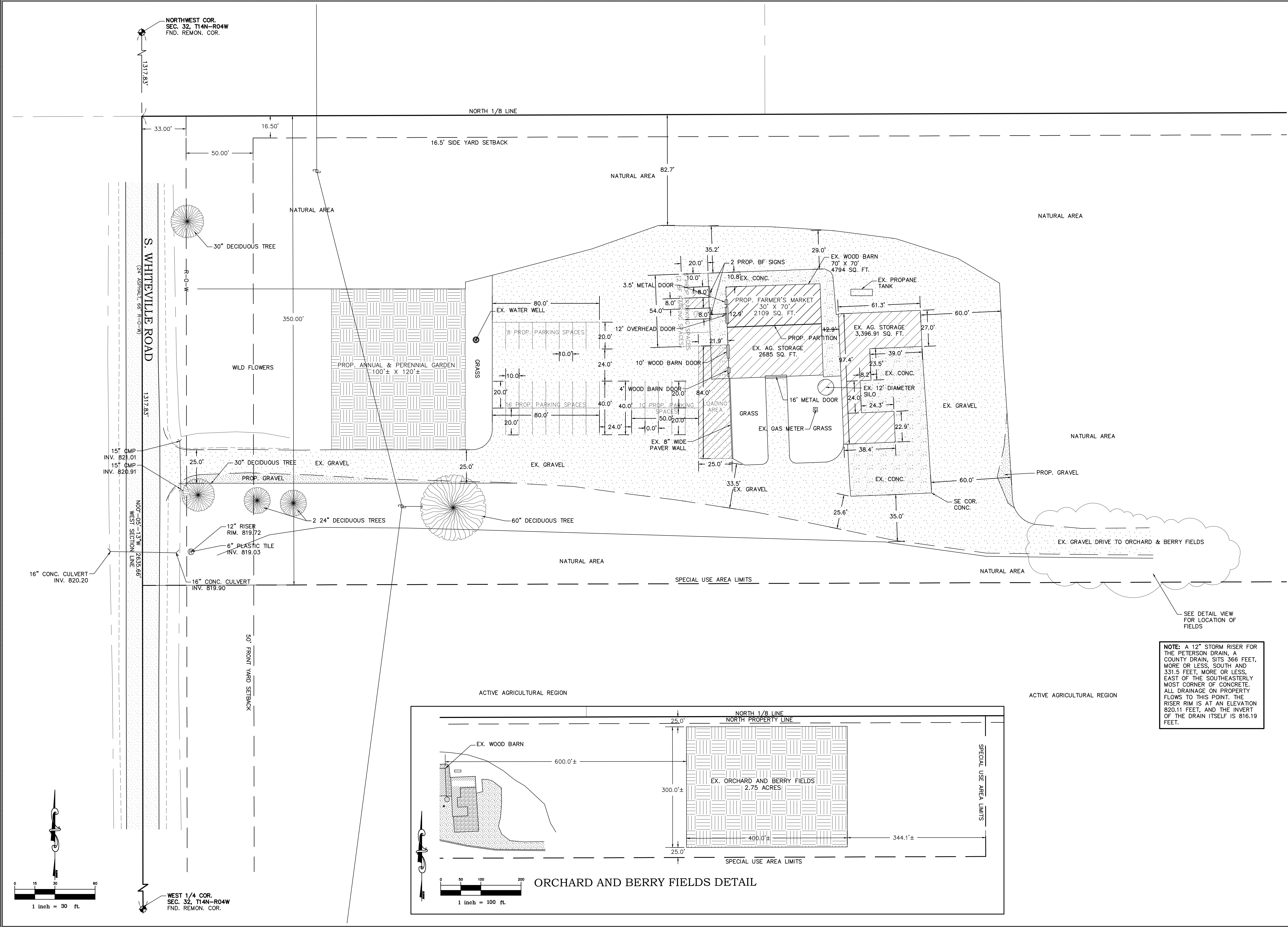
CDS

SCALE

 $\tau = 30$

SHEET NUMBER

2 of 3



NOTE: A 12" STORM RISER FOR THE PETERSON DRAIN, A COUNTY DRAIN, SITS 366 FEET, MORE OR LESS, SOUTH AND 331.5 FEET, MORE OR LESS, EAST OF THE SOUTHEASTERLY MOST CORNER OF CONCRETE. ALL DRAINAGE ON PROPERTY FLOWS TO THIS POINT. THE RISER RIM IS AT AN ELEVATION 820.11 FEET, AND THE INVERT OF THE DRAIN ITSELF IS 816.19 FEET.

016

SCALE

1" = 30'

JOB NUMBER:

2202-021

DRAWN BY:

CDS

DESIGNED BY:

CDS

CHECKED BY:

TELB

REVISIONS:

SUBMITTALS:

SUBMITTAL TO CLIENT 2-15-22

PRELIMINARY SITE PLAN

HEIRLOOM GROVE

THE SOUTH 1/2 OF THE NORTHWEST 1/4,
SECTION 32, T14N-R04W,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

CMS & D

SURVEYING / ENGINEERING

2257 E. BROOMFIELD ROAD
MT. PLEASANT, MICHIGAN 48858
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com

SPECIAL USE PERMIT REPORT

TO:	Planning Commission	DATE:	March 8, 2022
FROM:	Peter Gallinat, Zoning Administrator	ZONING:	AG, Agricultural District
PROJECT:	PSUP 22-01 Special Use Permit Application, Heirloom Grove Agri-Tourism		
PARCEL(S):	PID 14-032-10-006-02		
OWNER(S):	Michael Klumpp		
LOCATION:	Approximately 80.01 acres located at 5297 S. Whiteville Road in the NW 1/4 of Section 32.		
EXISTING USE:	Farmland with buildings.	ADJACENT ZONING:	AG
FUTURE LAND USE DESIGNATION: <i>Rural Preservation:</i> Rural Preservation areas outside of the growth boundary should be maintained at a low intensity rural character of development that will not adversely impact natural features and agricultural uses. Agriculture should be promoted and future rezoning requests for residential should be prohibited to prevent leapfrog development.			
ACTIONS REQUESTED: To review the PSUP22-01 Special Use Permit Application for the proposed Heirloom Grove Agri-Tourism business located at 5297 S. Whiteville Road in the NW 1/4 of Section 32 and in the AG (Agricultural) zoning district.			

Background Information

The applicant and landowner Michael Klumpp contacted the Township with the idea of a possible agritourism business similar to “Papa’s Pumpkin Patch” in neighboring Chippewa Township. Mr. Klumpp was advised that the idea would require a special use permit. Heirloom Grove as presented would permit visitors the opportunity to pick flowers and crops from a field as well as purchase goods inside a proposed farmers’ market facility.

Review Comments

Section 14.03J. of the Zoning Ordinance establishes the standards for special use approval. Special use permit approval is subject to a Planning Commission public hearing and recommendation to the Board of Trustees. The Board of Trustees retains final authority to approve or deny any special use permit. The Planning Commission’s decision should include “affirmative findings of fact and records adequate data, information, and evidence” to support a conclusion that the proposed special use conforms to the standards of Section 14.03J.

Each of the seven (7) standards from this Section are listed in the following table in bold printed text. Staff review comments follow under each standard. Please note that, for clarity and readability purposes, staff has divided standards #2 and #7 into several subsections:

Section 14.3.J. (Standards for Special Use Approval)		Status
1	The proposed land use is identified in Section 3 as a special use in the zoning district.	Conforms
	Agri-Tourism is listed in Section 3.6 as a special use in the AG (Agricultural District).	
2(a)	The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason of <u>traffic</u>....	Conforms
	The proposed use conforms to this standard. The use would generate more traffic but not at a rate that would be detrimental to safety.	
2(b)	The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason of...<u>noise, vibration, ...dust, glare (or) light</u>....	More Information Needed
	Use of fully shielded exterior lighting and/or confirming only daylight hours of operation can alleviate any concerns regarding noise, glare or light impacts.	
2(c)	The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason of...<u>odors, dust, drainage, pollution or other adverse impacts</u>.	More Information Needed
	The issue of requiring paved parking will effect both the level of dust and drainage issues associated with this special use.	
3	The special use will be designed, constructed, operated, and maintained in a manner compatible with adjacent uses, the surrounding area, and the intent of the zoning district. Where determined necessary by the Planning Commission or Township Board, the applicant has provided adequately for any restrictions on hours or days of operation, minimization of noise, and screening improvements or other land use buffers to ensure land use compatibility and minimize adverse impacts.	More Information Needed
	Additional screening, noise, and operational hour details need to be included on an updated site plan to confirm that these concerns have been addressed.	
4	The special use location and character is consistent with the general principles, goals, objectives, and policies of the adopted Master Plan.	Conforms
	Although Agri-Tourism is perhaps better suited on AG land located within the Rural Buffer area as designated in the Master Plan, the proposed scope of activities includes continued use of the land for farming. Given the small portion of land proposed for agri-tourism, this use is consistent with the Master Plan.	
5	The proposed special use conforms to all applicable requirements or standards of this Ordinance or other Township ordinances.	Can Conform (see 5.A. – 5.L. below)
	<i>The specific standards of Section 6.51 (Agri-Tourism) are included below along with staff review comments:</i>	

Section 14.3.J. (Standards for Special Use Approval)		Status
5.A.	A. Buildings. More than one (1) building may be permitted per parcel. Unless a building is exempt because it is an agricultural structure, all buildings shall be subject to inspection under the Building Code.	Conforms
5.B.	B. Trash Containers. A sufficient number of trash containers shall be placed on the premises for public use based on evaluation of the following features: type of event, anticipated number of attendees, duration of event, geographic size of the event, and use of disposable beverage or food containers.	More Information Needed
5.C.	C. Restrooms. A sufficient number of restrooms shall be available for public use, based on evaluation of the following features: type of event, number of attendees, duration of event, availability of food and beverages, and special needs of attendees (e.g., families with children, people with disability needs, etc.)	More Information Needed
5.D.	D. Building Setbacks. Buildings shall comply with the setbacks for the district in which they are located.	Conforms
5.E.	E. Building Height. Buildings related to agri-tourism shall not exceed thirty-five (35) feet in height.	Conforms
5.F.1.	F. Parking. All parking shall be provided in off-street parking lots, designed in accordance with the regulations in Section 9, except (that off)-street parking shall be set back a minimum of forty (40) feet from any property that is zoned or used for residential purposes.	Conforms
5.F.2.	F. Parking. All parking shall be provided in off-street parking lots, designed in accordance with the regulations in Section 9, except (that the) number of parking spaces shall be determined on a case-by-case basis, upon consideration of the character of the specific agri-tourism use being proposed.	More Information Needed
5.F.3.	F. Parking. All parking shall be provided in off-street parking lots, designed in accordance with the regulations in Section 9, except (that the) Planning Commission may waive the requirement for parking lot paving, upon making the determination that a grass or gravel surface will be adequate to handle the anticipated level of traffic. In making a determination regarding paving the Planning Commission shall consider the types of vehicles anticipated (e.g., volume of bus traffic, size and weight of vehicles, etc.). If paving is not required, then the site plan shall include a commitment to provide dust control. Please note that provisions for paved barrier-free parking spaces and access to the building cannot be waived.	More Information Needed for a Waiver Request
5.F.4.	F. Parking. All parking shall be provided in off-street parking lots, designed in accordance with the regulations in Section 9, except (that the) Planning Commission may waive parking lot lighting requirements upon making the determination that the facility will be used only during daylight hours.	More Information Needed for a Waiver Request

Section 14.3.J. (Standards for Special Use Approval)		Status
5.F.5.	F. Parking. All parking shall be provided in off-street parking lots, designed in accordance with the regulations in Section 9, except (that the) Planning Commission may waive parking lot landscaping requirements upon making the determination that existing vegetation to be retained on the site satisfies the objectives of the Ordinance and maintains the rural, non-commercial character of the site.	More Information Needed for a Waiver Request
5.G.	G. Signs. Agri-tourism uses shall comply with the requirements for Wall Signs and Freestanding Signs in Section 11.11. New signage will be subject to a separate sign permit application.	Can Conform
5.H.	H. Exterior Lighting. Parking lot and pedestrian route lighting shall be required for any agri-tourism use that operates after dusk or before dawn, subject to Section 8.2. Adequate lighting shall be provided to assure the safety of pedestrians and drivers.	More Information Needed
5.I.	I. Overnight Accommodations. Overnight accommodations related to an agricultural tourism operation shall comply with the regulations for bed-and-breakfast establishments in Section 6.9. None proposed	Not Applicable
5.J.	J. Hours of Operation. The Planning Commission shall establish the hours of operation for agri-tourism uses to assure compatibility with nearby uses as a condition of special use approval. None given.	More Information Needed
5.K.	K. Examples. In combination with a conventional farm, the following activities may constitute an agri-tourism event: bakery, bonfires, carnival rides, cider mill, cooking demonstrations, corn mazes, fishing pond, food service, haunted barn/trails, petting farms, and playscapes. This list is not intended to be all inclusive of activities that may be considered agri-tourism.	Conforms
5.L.	L. Impact on Surrounding Properties. The location, layout, design and operation of such a facility shall not impair the continued enjoyment, use, and future development of adjacent and nearby properties.	Conforms
6	Approval of the special use location will not result in a small residential or non-residential area being substantially surrounded by incompatible uses. The approval of the special use location will not result in a small residential or non-residential area being substantially surrounded by incompatible uses.	Conforms
7(a)	The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited to...<u>fire protection services (and) municipal water and sewerage systems....</u> The proposed scope of activity requires the use of restrooms, but no restrooms are shown on the plan and no documentation has been provided regarding the suitability of soils or the capacity of any existing septic and well with drain field.	More Information Needed

Section 14.3.J. (Standards for Special Use Approval)		Status
7(b)	The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited to <u>roads, police...protection services, (and) refuse disposal, other utilities, drainage facilities, and public or private wells....</u>	Conforms
	The use will create more traffic than what is typical in the area with farmland and residential one family homes on AG parcels. It should not however exceed the existing or planned capacity of the road. The area is serviced by the County Sheriff and Mt. Pleasant Fire Department.	
7(c)	The proposed use will not create additional requirements at public cost for services or infrastructure that will be detrimental to the economic welfare of the community.	Conforms
	The proposed use conforms to this standard.	

Objective

Following the hearing, the Planning Commission shall review the application materials, together with any reports and recommendations, and any public comments. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to the approval, approval with conditions, or denial of the special use permit application, or to postpone further consideration of the application to a date certain in accordance with the provisions of Section 14.3.F.4.

Key Findings

1. As presented, the special use permit application is incomplete and not ready for a public hearing or final Planning Commission action.
2. Key information required in section 6.51 (Agri-Tourism) is missing from the application.
3. There is sufficient land area on the site to allow for the proposed agri-tourism activities, subject to compliance with the applicable Zoning Ordinance standards.

Recommendations

Based on the above findings, I would ask that the Planning Commission review the application and give the applicant feedback that can be used to prepare a more complete application for further Planning Commission review and a public hearing. Further action on the application should be postponed pending receipt of a complete application.

Please contact me at (989) 772-4600 ext. 241, or via email at pgallinat@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Peter Gallinat, Zoning Administrator

Community and Economic Development Department

**Draft Motions: PSUP 22-01 Heirloom Grove Agri-Tourism, 5297 S. Whiteville Road
Special Use Permit Application**

MOTION TO POSTPONE ACTION:

Motion by _____, supported by _____, to postpone action on the PSUP 22-01 special use permit application for the proposed Heirloom Grove Agri-Tourism business located at 5297 South Whiteville Road with a request for submittal of an updated special use permit and associated preliminary site plan for further review, for the following reasons:

1. As presented, the special use permit application is incomplete and not ready for a public hearing or final Planning Commission action.
2. Key information required in Section 6.51 (Agri-Tourism) of the Zoning Ordinance is missing from the application.

PRELIMINARY SITE PLAN REPORT

TO:	Planning Commission	DATE:	March 8, 2022
FROM:	Peter Gallinat, Zoning Administrator	ZONING:	AG, Agricultural District
PROJECT:	PSPR 22-02 Preliminary Site Plan Application, Heirloom Grove Agri-Tourism		
PARCELS:	PID 14-032-10-006-02		
OWNER(S):	Michael Klumpp		
LOCATION:	Approximately 80.01 acres located at 5297 S. Whiteville Road in the NW 1/4 of Section 32.		
EXISTING USE:	Farmland with buildings.	ADJACENT ZONING:	AG
<p>FUTURE LAND USE DESIGNATION: <i>Rural Preservation:</i> Rural Preservation areas outside of the growth boundary should be maintained at a low intensity rural character of development that will not adversely impact natural features and agricultural uses. Agriculture should be promoted and future rezoning requests for residential should be prohibited to prevent leapfrog development.</p> <p>ACTION REQUESTED: To review the PSPR 22-02 preliminary site plan dated 2-16-2022 for the proposed Heirloom Grove Agri-Tourism business located at 5297 S. Whiteville Road in the NW 1/4 of Section 32 and in the AG (Agricultural) zoning district.</p>			

Site Plan Approval Process

Per Section 14.2.C. of the Zoning Ordinance, both preliminary and final site plan approvals are required for this project. Per Section 14.2.J., preliminary site plan approval by the Planning Commission *"shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas."* Planning Commission approval of a final site plan *"constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met"* (Section 14.2.L.). Documentation of applicable outside agency permits and approvals will be required as part of a final site plan application.

Preliminary Site Plan Review Comments

The following comments are based on the standards for preliminary site plan approval and specific elements of the proposed site plan:

1. **Section 14.2.P. (Required Site Plan Information).** The site plan substantially conforms to the minimum Section 14.2.P. information requirements for a preliminary site plan. The following details and corrections will need to be addressed on the final site plan:

Missing Preliminary Site Plan Information	
Existing zoning classification(s) for the subject parcel(s) and surrounding parcels. Not just portion shown on the proposed utilized area of the parcel but of the entire parcel.	<input type="checkbox"/>
Calculations for parking, lot coverage, total ground floor area, and other applicable Ordinance requirements.	<input type="checkbox"/>
Location of proposed outdoor waste receptacle enclosures; with size, elevation, and vertical cross-section showing materials and dimensions; indication how recycling will be implemented.	<input type="checkbox"/>
Detailed exterior building façade elevation drawings for all proposed dwellings, principal buildings, and additions, drawn to an appropriate scale and indicating types, colors, and dimensions of finished wall materials.	<input type="checkbox"/>
A general description and preliminary delineation of existing natural features on and abutting the site.	<input type="checkbox"/>
Details for the proposed hours and days of operation, and for the required restrooms.	<input type="checkbox"/>
Screening methods for any waste receptacle areas, ground-mounted generators, transformers, mechanical (HVAC) units, and similar devices.	<input type="checkbox"/>
General layout of existing and proposed water supply systems, sanitary sewerage or septic systems, and stormwater management facilities.	<input type="checkbox"/>

2. **Section 8 (Environmental Performance Standards).** The applicant has submitted a completed Hazardous Substances Reporting form EGLE Permit checklist form.
3. **Section 7.14 (Trash Removal and Collection).** The required dumpster and associated enclosure details are missing.
4. **Section 7.10 (Sidewalks and Pathways).** A sidewalk does not need to be on a preliminary plan but will need to be shown on the final site plan. In accordance with the Township Sidewalk policy. The following sidewalk details will need to be addressed by the applicant on the final site plan submittal:
 - ☐ Add a written request for temporary relief from sidewalk construction on the final site plan for the identified portion of additional public sidewalk, with the specific reasons for relief noted consistent with the Township’s adopted policy. An applicable potential reason for relief is referenced below and the full policy can be found on the Township’s website under *Departments: Zoning and Planning Services*:
 4. *Less than 50% of the surveyed sections of the township along the road fronting the proposed development has sidewalks. I*
5. **Section 9 (Parking, Loading, and Access Management).** The plans states that the existing parking will be moved to the west once the addition is added. The following details will need to be addressed by the applicant on the final site plan:
 - ☐ Parking is shown on the plan with dimensions that meet size requirements, but there is no formula or reason to justify the number of parking spaces. “One (1) space per employee based on the largest daily work shift, plus adequate off-street parking for visitors based on anticipated use.” Section 6.51.F.2 adds that the number of parking

spaces shall be determined on a case-by-case basis, upon consideration of the character of the specific agri-tourism use being proposed. More detail is needed to explain as to how you arrived at the proposal for 36 spaces. In addition, the potential for large group van or school field trip bus parking should be addressed on the plan.

- ☐ Unless the Planning Commission waives the requirement for general parking lot paving the parking lot will need to be shown as paved. Even if a waiver is granted, required barrier-free parking and access to the building must be paved.
 - ☐ The Planning Commission may waive parking lot lighting requirements upon making the determination that the facility will be used only during daylight hours.
 - ☐ The Planning Commission may waive parking lot landscaping requirements upon making the determination that existing vegetation to be retained on the site satisfies the objectives of the Ordinance and maintains the rural, non-commercial character of the site.
 - ☐ The proposed loading area is sufficient in size but is required to be hard surfaced. The location should be to the side or rear of the building.
6. **Section 6.51 Agri-Tourism standards.** Trash containers, restrooms, parking, and hours of operation are all key components to consider in approving an Agri-Tourism operation.
- ☐ It appears section 6.51 was not thoroughly considered for the present application.
7. **Outside agency approvals.** The applicant shall be responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval. These approvals include the State of Michigan, Mt. Pleasant Fire Department, Township Public Services Department, Isabella County Road Commission, Isabella County Transportation Commission, and Storm Water approval from the Isabella County Drain office.
- ☐ Copies of all outside agency permits and approval letters will need to be submitted to Peter Gallinat, Zoning Administrator prior to or as part of the final site plan submittal.

Objective

The Planning Commission shall review the application materials and site plan, together with any reports and recommendations. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to approve the site plan, to approve the site plan with conditions, to deny the site plan application, or to postpone further consideration of the site plan to a date certain in accordance with Section 14.2.H. of the Zoning Ordinance.

Key Findings

1. The site plan as presented does not conform to the minimum requirements of Section 14.2.P. information requirements for a preliminary site plan.

2. Key information required in Section 6.51 (Agri-Tourism) is missing from the application.
3. There is sufficient land area on the site to allow for the proposed agri-tourism activities, subject to compliance with the applicable Zoning Ordinance standards.

Recommendations

Based on the above findings, I recommend that further action on the PSPR22-02 preliminary site plan application be postponed until necessary changes have been made and a revised preliminary site plan meeting the minimum requirements of the Zoning Ordinance has been submitted for further review. Action on this application will also be required to come after a Planning Commission public hearing and final action on the associated special use permit application.

Please contact me at (989) 772-4600 ext. 241, or via email pgallinat@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Peter Gallinat – Zoning Administrator

Community and Economic Development Department



Department of Public Services
5228 South Isabella Road
Mt. Pleasant, MI 48858
Phone (989) 772 4600 ext. 224
E Mail ksmith@uniontownshipmi.com

March 2, 2022

Mr. William Johnson
MCAP Municipal Capital Appreciation Partners
534 E Main Street
Charlottesville VA 22902

RE: Prestige Center PUD Rezoning and Concept Plan Review
5780 & 5785 E Broadway – Union Township

Union Township received the revised PUD Concept Plan and capacity information on February 17, 2022, for the expansion of the Prestige Center located at 5780 and 5785 E Broadway located in Union Township. The plans were reviewed for the purpose of the PUD Rezoning and Concept Plan only.

All water, sewer, and appurtenances must be designed and constructed in accordance with the Charter Township of Union Requirements, Design Specifications and Ordinances, Ten State Standards, and all State and Federal Standards and Regulations, and accepted engineering practices for the area. The Township's Design Specifications and Ordinances can be found on our website at www.uniontownshipmi.com.

Our comments on the PUD Rezoning and Concept Plan are as follows:

Concept Plan:

The proposed PUD concept plan for the water main and sanitary sewer main are acceptable for the purpose of the PUD concept review only.

Capacity:

The Charter Township of Union sanitary sewer collection system is comprised of multiple service areas. In this case the proposed development would be immediately serviced by the Pump Station No. 1 service area. The development proposes to connect to the existing sanitary sewer system at one (1) location on the 8" sewer segment (Manhole #5 BRD). From this location, the flow will be conveyed through the gravity sewer system running north along Enterprise Drive into Pump Station No. 1. This flow is transferred through a 6" force main running west along Pickard Road terminating into an 8-inch gravity sewer. The gravity sewer ultimately runs north along Isabella Road into Pump Station #2.

The proposed Prestige Development rezoning and demand was not anticipated and is considered additional demand not planned for. Review of the existing water and sewer infrastructure does demonstrate some capacity to accommodate Phase I of the development (64 units of assisting living) only.

The limiting restricting infrastructure is the capacity of sanitary sewer Pump Station #1, Pump Station #2, and the downstream gravity sewers it discharges into. With the addition of Phase II, Pump Station #1 and Pump Station #2 will both exceed their available capacity and restricted the

limited available capacity of portions of the downstream 8-inch, 10-inch and 12-inch gravity sewer.

Based on the capacity evaluation the Charter Township of Union Public Service Department does not recommend or approve the PUD rezoning and concept plan as presented due to the significant upgrades that would be required to service Phase II of the plan.

If you have any questions, please call 989-772-4600 ext. 224.

Sincerely,

A handwritten signature in cursive script that reads "Kim Smith".

Kim Smith

Public Service Director

Draft Motions: PREZ21-03 request to rezone parcels 14-013-20-043-02 & -043-08 at 5785 E. Broadway Road from the B-4 (General Business) District to PUD (Planned Unit Development)

MOTION TO POSTPONE ACTION:

Motion by _____, supported by _____, to postpone action on the PREZ21-03 request to rezone parcels 14-013-20-043-02 & -043-08 at 5785 E. Broadway Road from the B-4 (General Business) District to PUD (Planned Unit Development) until the municipal sewer system capacity concerns for the phase 2 project, as identified in the Public Services Director's March 2, 2022 letter, can be satisfactorily resolved by the applicant in a manner consistent with the Township's established Design Requirements and Specifications.



PARKS AND RECREATION SURVEY

You are invited to share your thoughts about the Township's parks and recreation facilities and priorities for the future by filling out and returning this survey. The Township is in the process of developing an updated 2023 – 2027 Parks and Recreation Plan. This plan will guide future park-related improvement projects and meet eligibility requirements for grant funding. All responses will be kept anonymous and will only be used for parks and recreation planning purposes.

The survey is designed to be completed in about ten minutes. The completed survey can be dropped off in the mail slot to the right of the Township Hall entrance at 2010 South Lincoln Road, or mailed back to the Township in the enclosed return-reply envelope.

1. **Counting yourself, how many people live in your household?** _____
2. **Do you feel that there are sufficient parks and green space areas within walking distance of your residence? (please check one)**

☐ Yes
☐ No

☐ Not sure
3. **Which Union Township park have you or members of your household visited most often during the past several years? (please check one)**

☐ McDonald Park
☐ Jameson Park

☐ I have not visited a Township park in recent years
(skip ahead to question #7)
4. **Approximately how often did you or members of your household visit Township parks during the past 12 months? (please check one)**

☐ at least once a week
☐ a few times per month

☐ about once per month
☐ a few times during the year
5. **On a scale of 1 to 5, with five as the top rating, how would you rate the overall condition of any Township parks you have visited?** _____
6. **On a scale of 1 to 5, with five as the top rating, how would you rate your overall level of satisfaction with the value you or members of your household receive from the Township's parks and recreation facilities?** _____
7. **What other parks or recreation facilities (public, private, commercial) do you visit and why?**

8. If you or members of your household have not used the Township's McDonald Park or Jameson Park facilities, what are the reasons? (please check all that apply)

- | | |
|---|--|
| <input type="checkbox"/> We are too busy or not interested | <input type="checkbox"/> Don't feel safe at parks |
| <input type="checkbox"/> Inconvenient locations | <input type="checkbox"/> Lack of recreation programming |
| <input type="checkbox"/> I don't know where the parks are located | <input type="checkbox"/> Don't have equipment or facilities I need |
| <input type="checkbox"/> Need transportation to get to parks | <input type="checkbox"/> Don't have features or amenities I want |
| <input type="checkbox"/> Facilities are not well maintained | <input type="checkbox"/> Disability or age |
| <input type="checkbox"/> Other, please explain: _____ | |

9. Do you or any members of your household have a disability, as defined by the Americans with Disabilities Act?

- ☐ No (skip ahead to question #11) ☐ Yes

10. If you answered "Yes" to question #9, what types of accommodations are needed to better serve you or household members with disabilities? (please check all that apply)

- | | |
|---|--|
| <input type="checkbox"/> Adaptive equipment | <input type="checkbox"/> Sign language interpretation |
| <input type="checkbox"/> Barrier-free access improvements | <input type="checkbox"/> Non-verbal assistance (Braille) |
| <input type="checkbox"/> Other, please explain: _____ | |

11. Which of these populations in our community do you feel need additional recreation opportunities [please check up to three (3) of the choices to show your highest priorities]:

- | | |
|--|--|
| <input type="checkbox"/> Families | <input type="checkbox"/> Young adults |
| <input type="checkbox"/> Younger children (4 – 8 years of age) | <input type="checkbox"/> Seniors |
| <input type="checkbox"/> Youth (9 – 13 years of age) | <input type="checkbox"/> Other adults |
| <input type="checkbox"/> Teens (14 - 19 years of age) | <input type="checkbox"/> Persons with disabilities |

12. What type of new park land is most needed in the Township? (please check one)

- ☐ Additional public recreation land along the Chippewa River
- ☐ Additional public recreation land for sports fields
- ☐ New public park on the south side of the Township
- ☐ New neighborhood park or tot lot park on the east side of the Township
- ☐ Other: _____

13. Which of the following improvements to an existing park or recreational amenity in the Township do you feel are your highest priorities [please check no more than two(2)]:

- | | |
|---|---|
| <input type="checkbox"/> Add a covered pavilion next to the McDonald Park playground | <input type="checkbox"/> Develop more sport fields |
| <input type="checkbox"/> Add a lighted outdoor running/walking loop course at McDonald Park | <input type="checkbox"/> Expand network of paved pathways |
| <input type="checkbox"/> Other, please describe: _____ | <input type="checkbox"/> Focus on maintaining the existing park facilities. |



14. Which of the following new public recreation facilities, amenities, or services do you feel are most needed in the Township [please check up to five (5) to show your highest priorities]:

- | | |
|---|--|
| <input type="checkbox"/> Athletic courts, multi-sport | <input type="checkbox"/> Outdoor amphitheater |
| <input type="checkbox"/> Athletic fields - baseball or softball | <input type="checkbox"/> Paved walking and biking paths |
| <input type="checkbox"/> Athletic fields - lacrosse, football, soccer | <input type="checkbox"/> Playgrounds |
| <input type="checkbox"/> Bird watching/wildlife observation | <input type="checkbox"/> Public wireless Internet access |
| <input type="checkbox"/> BMX/freestyle biking course | <input type="checkbox"/> Shooting or archery range |
| <input type="checkbox"/> Climbing wall | <input type="checkbox"/> Skateboarding facilities |
| <input type="checkbox"/> Covered group picnic shelters | <input type="checkbox"/> Sledding hill |
| <input type="checkbox"/> Disc golf course | <input type="checkbox"/> Small neighborhood parks |
| <input type="checkbox"/> Dog parks (off-leash) | <input type="checkbox"/> Technology charging stations |
| <input type="checkbox"/> Equestrian (horse) trails | <input type="checkbox"/> Unpaved hiking/cross-country ski trails |
| <input type="checkbox"/> Fitness court – outdoor gym | <input type="checkbox"/> Workout equipment, outdoor |
| <input type="checkbox"/> Nature preserve | <input type="checkbox"/> Water park/spray park |
| <input type="checkbox"/> Other, please describe: _____ | |

15. Please write in the number of people in each age group living in your household:

_____ 5 & under	_____ 15-17	_____ 35-44	_____ 65+
_____ 6-9	_____ 18-24	_____ 45-54	
_____ 10-14	_____ 25-34	_____ 55-64	

16. How would members of your household prefer to receive information about the Township's parks and recreation facilities and services? (please check all that apply)

- | | |
|---|---|
| <input type="checkbox"/> Direct email bulletins from the Township | <input type="checkbox"/> Radio |
| <input type="checkbox"/> Information displayed at the park | <input type="checkbox"/> Facebook |
| <input type="checkbox"/> Township's website | <input type="checkbox"/> Twitter |
| <input type="checkbox"/> The Morning Sun newspaper | <input type="checkbox"/> Instagram |
| <input type="checkbox"/> Direct mailing from the Township | <input type="checkbox"/> Other social media _____ |

17. Any additional comments about the Township's parks and recreation facilities?

This concludes the survey. Thank you for your time.

Please return your completed survey in the enclosed return-reply envelope.